


- NOTES:**
- 1 ALL DEMOLITION MATERIAL AND DEBRIS AND ALL ITEMS REMOVED FROM THE PROPERTY AND THE PUBLIC AREAS ADJACENT, SHALL BE DISPOSED OUTSIDE THE CITY OF ORANGE TOWNSHIP LIMITS IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY'S ENVIRONMENTAL COMMISSION AND IN ACCORDANCE WITH THE REGULATIONS AND LAWS OF THE NJDEP.
 2. ROAD OPENING PERMIT MUST BE OBTAINED FROM THE CITY PRIOR TO ANY CONSTRUCTION IN OR OCCUPANCY OF THE PUBLIC RIGHT-OF-WAY.
 - 3 THE EXISTING CONDITIONS DEPICTED ON THIS DRAWING ARE TAKEN FROM A TOPOGRAPHIC AND BOUNDARY SURVEY ISSUED BY V4 LAND SURVEYING, PLLC WITH OFFICE IN HOBOKEN, NJ 07030 AND SIGNED ON 08/25/2022.

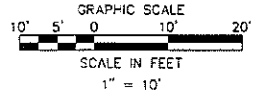
LEGEND

 LIMIT OF CURB AND SIDEWALK REMOVAL

NOTE:
REMOVE THE CURB AND SIDEWALK UP TO THE EXPANSION JOINT

City	Township	County	State
512 -522 SCOTLAND ROAD BLOCK 5902, LOTS 3 & 4			
City of Orange	Essex County	New Jersey	
EXISTING CONDITIONS & DEMOLITION PLAN			
Edwin A. Reimon 11 Park Avenue, Rutherford, NJ 07070 (201)939-0001 edwin@edwinreimonengineering.com		Job #: 23042 Scale: AS SHOWN Date: 01/10/2024	Sheet #:
Edwin A. Reimon, P.E. <small>PROFESSIONAL ENGINEER NO. 260369900</small>		Drawn By: A.R.	Checked By: E.A.R.
			C-1

811 Know what's below.
Call before you dig.
or
1-800-272-1000
NEW JERSEY ONE CALL

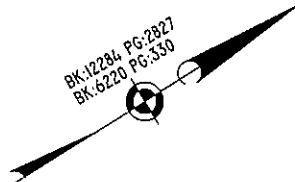


PROJECT

DATE: 02/14/24

DATE: 11/08/24

BK:12284 PG:2827
BK:6220 PG:330



NOTES:

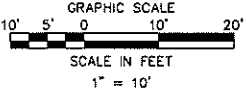
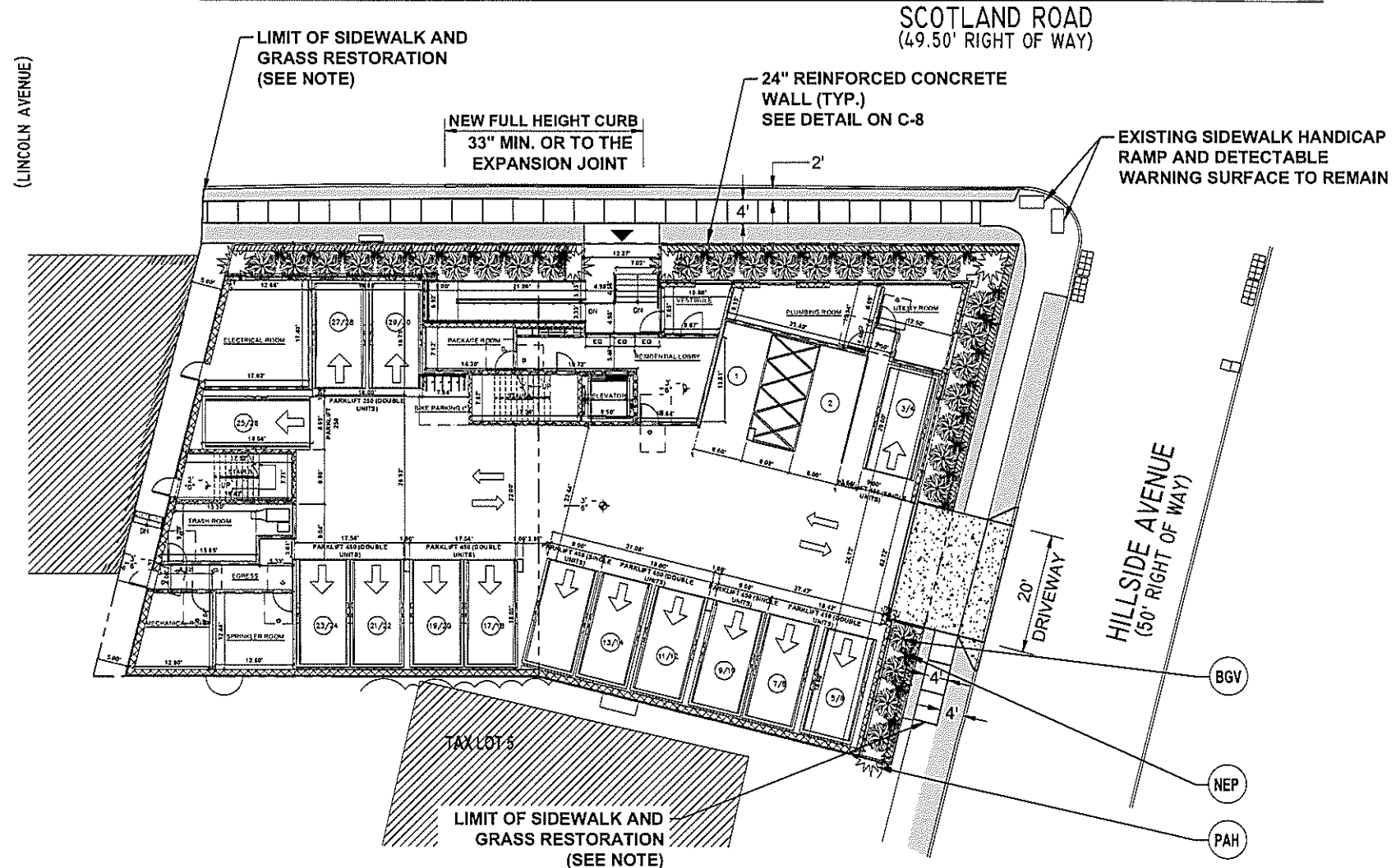
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4. RESTORE TRAFFIC SIGNS AND TRAFFIC MARKINGS UPON COMPLETION OF WORK. RECONSTRUCT ANY DAMAGED CURB, SIDEWALK AND GRASS AREAS IN THE PUBLIC R.O.W. TO THE SATISFACTION OF THE CITY ENGINEER.
5. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

LEGEND

- CONCRETE SIDEWALK
- SIDEWALK
- LIMIT OF CURB AND SIDEWALK REMOVAL
- GRASS

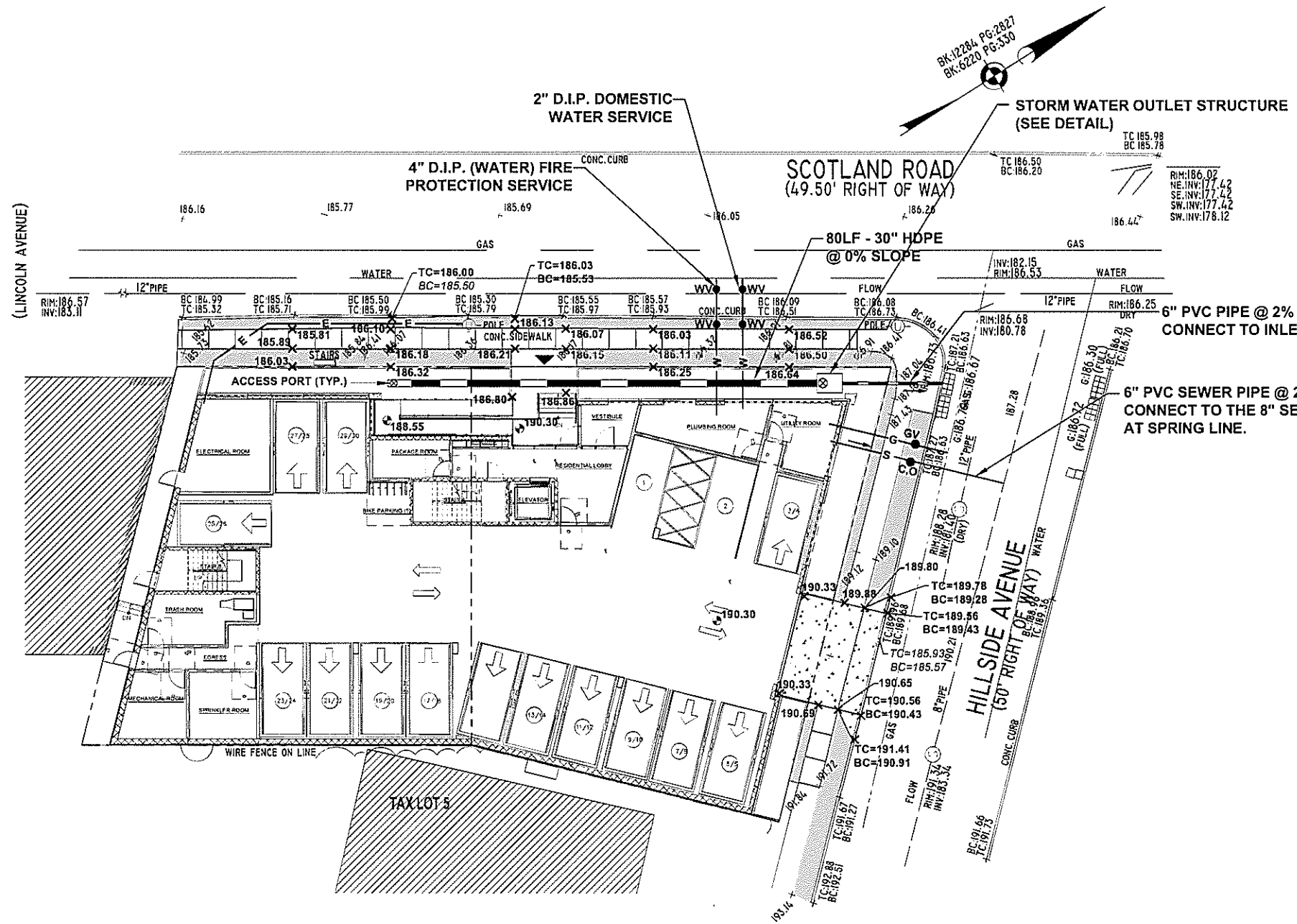
LANDSCAPING LEGEND

- BGV
- NEP
- PAH
- AP

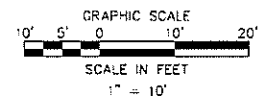


512-522 SCOTLAND ROAD		City of Orange	Essex County	New Jersey
SITE PLAN				
Edwin A. Reimon 11 Park Avenue, Rutherford, NJ 07070 edwin@edwinreimonengineeringservices.com		Job #: 23042 Scale: AS SHOWN Date: 01/10/24	Drawn By: A.R.	Sheet #: C-2
Edwin A. Reimon, P.E. REGISTERED PROFESSIONAL ENGINEER NO. 24613114900		Checked By: E.A.R.		

PROJECT: DATE: 10/20/24 TIME: 4:14 PM



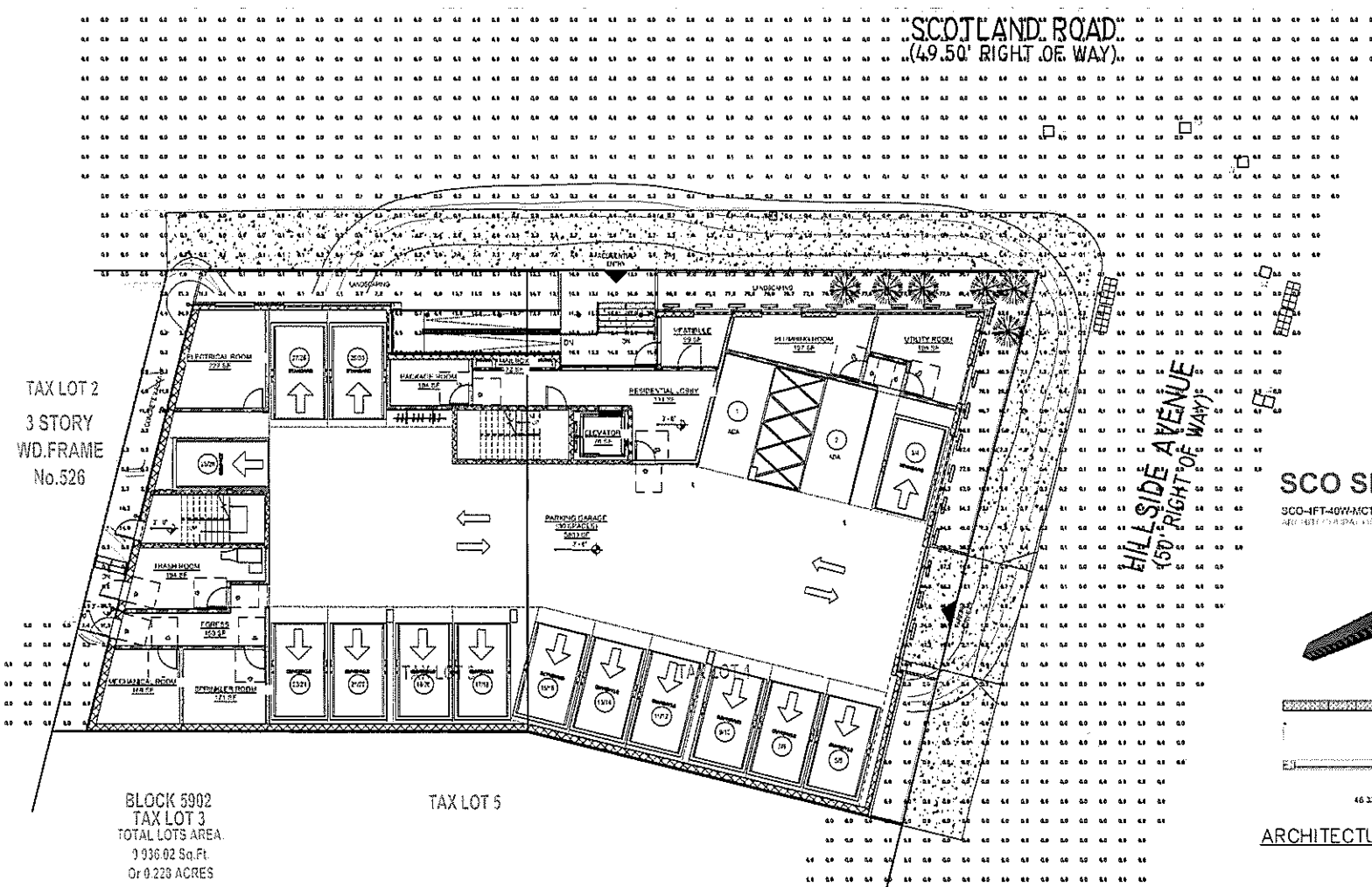
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 - 4 RESTORE TRAFFIC SIGNS AND TRAFFIC MARKINGS UPON COMPLETION OF WORK. RECONSTRUCT ANY DAMAGED CURB, SIDEWALK AND GRASS AREAS IN THE PUBLIC R.O.W. TO THE SATISFACTION OF THE CITY ENGINEER.
 - 5 SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.



512-522 SCOTLAND ROAD	
City of Orange	Essex County New Jersey
GRADING, DRAINAGE, AND UTILITY PLAN	
Edwin A. Reimon 11 Park Avenue, Rutherford, NJ 07070 edwin@edwinreimonengineering.com	Job #: 23042 Scale: AS SHOWN Date: 01/10/24
Edwin A. Reimon, P.E. PROFESSIONAL ENGINEER & NJ REG. 260099488	Drawn By: A.R. Checked By: E.A.R. Sheet #: C-3

PROJECT: TAX LOT 3
TAX LOT 2
DATE: 12/2023

(LINCOLN AVENUE)



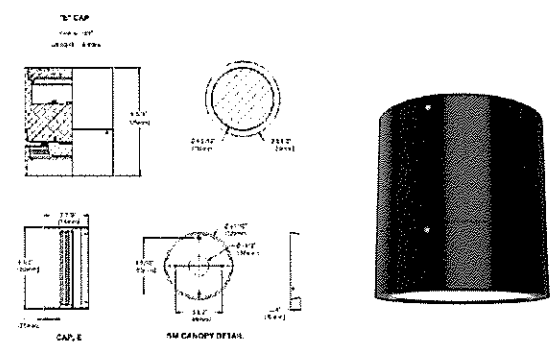
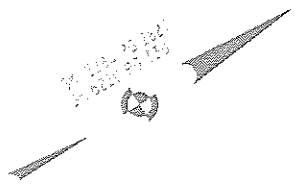
TAX LOT 2
3 STORY
WD.FRAME
No.526

BLOCK 5902
TAX LOT 3
TOTAL LOTS AREA:
9,936.02 Sq.Ft.
Or 0.228 ACRES

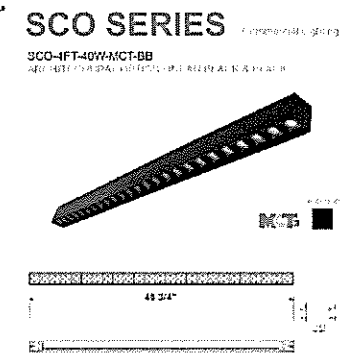
LIGHTING SCHEDULE

TYPE	QTY	CATALOG NO.	DESCRIPTION	LLF	VOLTS	COMMENTS
⊗	4	B-K LIGHTING INC. DM-APN-LED-45-DW-12-C	ARCHITECTURAL DOWN LIGHT BY BK LIGHTING	1.00	120 V	OVERHEAD MOUNTED 10' FROM GROUND
○	4	B-K LIGHTING INC. OL-LED-160-PL-9	ARCHITECTURAL WALL LIGHT BY BK LIGHTING	1.00	120 V	WALL MOUNTED 8' FROM GROUND
⌋	25	WESTGATE MFG. SCD-4FT 4000K	ARCHITECTURAL LINEAR LIGHT BY WESTGATE	1.00	120 V	OVERHEAD RECESSED MOUNTED 12' FROM GROUND

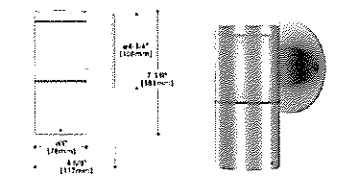
LIGHTING PLAN
SCALE: 1"=10'



ARCHITECTURAL DOWN LIGHT
N.T.S.

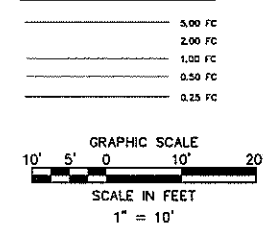


ARCHITECTURAL LINEAR LIGHT
N.T.S.










ARCHITECTURAL WALL LIGHT
N.T.S.

LIGHTING LEGEND



Date: _____		Revision: _____		Drawn By: _____		Checked By: _____	
512 - 522 SCOTLAND ROAD BLOCK 5902 LOTS 3 & 4 City of Orange Essex County New Jersey							
LIGHTING PLAN							
Edwin A. Reimon 11 Park Avenue, Rutherford, NJ 07070 edwin@edwinreimonengineering.com				Job #: 23042 Scale: AS SHOWN Date: 1/10/2024			
Edwin A. Reimon, P.E. <small>N.J. PROFESSIONAL ENGINEER NO. 261239400</small>				Drawn By: S.A.C. Checked By: E.A.R. Sheet #: C-4			

LEGEND

-  LAWN AREA
-  SIDEWALK
-  CURB
-  FULL DEPTH PAVEMENT
-  SILT FENCE
-  LIMIT OF DISTURBANCE
-  STABILIZED CONSTRUCTION DRIVEWAY

**HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT
SOIL EROSION & SEDIMENT CONTROL NOTES**

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL 7th EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY RESEED AND MAY BE COVERED OR OTHERWISE PROTECTED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH THE NECESSARY PERMANENT REVEGETATION IS ESTABLISHED.
3. SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITH MOST LOCATIONS IN THE PROJECT: **SPRING = 3/2-3/15** AND **FALL = 9/15-10/15**.
4. SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
5. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
6. WASH MATERIALS SHALL BE UN-ROTTED SMALL DRAIN STRAW APPLIED AT THE RATE OF 70 TO 80 POUNDS PER 100 SQUARE FEET AND ANCHORED WITH A WASH ANCHORS TOOL. LIQUID WASH DROPPERS OR NETTING BE DOWN OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
7. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE REPAIRED IMMEDIATELY.
8. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED BY E-MAIL AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. E-MAIL - ESSEX@NJSDISTRICTS.COM OR FAX - [908-333-3300](tel:908-333-3300).
9. THE APPLICANT MUST OBTAIN A DISTRICT FIELD REPORT/CONFORMANCE FROM THE DISTRICT PRIOR TO ANY SOIL DISTURBING ACTIVITIES. CONTACT THE DISTRICT AT [908-333-3300](tel:908-333-3300) TO REQUEST A FIELD REPORT, OBTAINING APPROVAL PRIOR TO ANY SOIL DISTURBING ACTIVITIES. A PERFORMANCE REPORT MAY BE POSTED WITH THE DISTRICT WITH WATER WEATHER OR SOIL COVER PROVIDED THE PROPER APPLICATION OF SEED, WASH, FERTILIZER OR HYDRO-SEED.
10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT URDIE A FIRE OR DRAINAGE HOSE TO CLEAN ROADS UNLESS THE HOSE IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE DRAINAGE BASIN CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGE TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SHAM PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
11. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RESEEDING, SEEDING OR PLANTING. A DEPTH OF 5.0 INCHES, FENCED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILS AND LAWN GRASS, LAST REVISED DECEMBER 2017.
12. ALL PLAN FEATURES MUST BE SUBMITTED TO THE DISTRICT FOR PREVIEW AND APPROVAL.
13. A CRUSHED STONE WHEEL CLEANING TRACKING PAD IS TO BE INSTALLED AT ALL SITE ENDS USING 3/4" - 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MAXIMUM LENGTH OF 50 FEET AND A MINIMUM WIDTH OF 5'. ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
14. STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE SPECIAL MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
15. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF UNUSUAL LOTS. THE DISTRICT'S APPROVAL SHALL BE THROUGH AN APPLICANT'S ENGINEER. RECORDS OF THE DISTRICT'S APPROVAL SHALL BE MAINTAINED AS CONSTRUCTION PROCEEDS.

SEQUENCE OF CONSTRUCTION

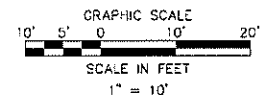
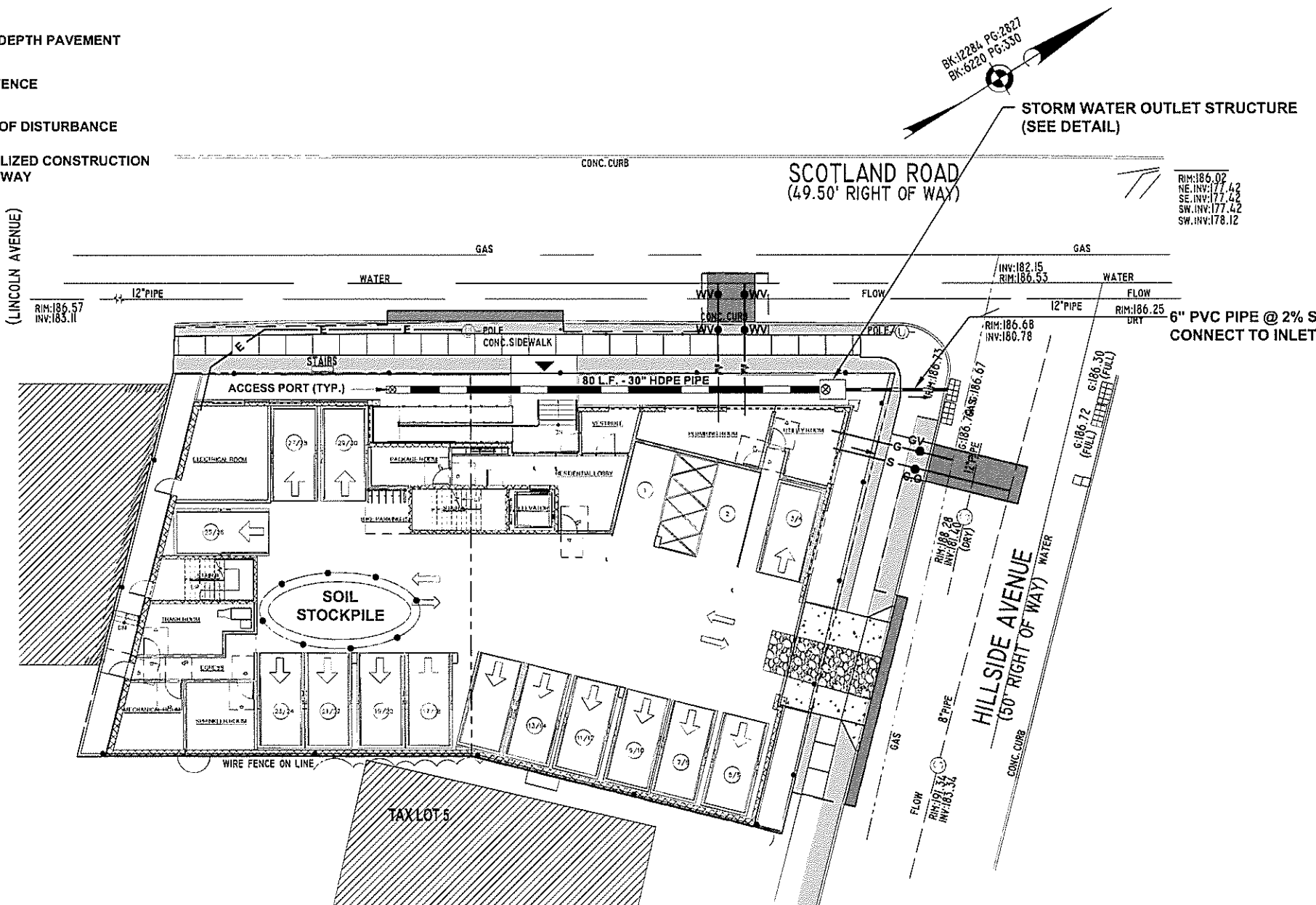
1. THE M.E.P. SOIL CONSERVATION DISTRICT MUST BE NOTIFIED IN WRITING AT LEAST 72 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES.
 2. INSTALL TEMPORARY FENCING, TRACKING PAD, AND INLET PROTECTION. 1 WEEK
 3. DEMOLISH SITE PER DEMOLITION PLAN. CONTRACTOR TO COORDINATE REMOVAL OF SIDEWALKS DURING STAGING OF SITE CONSTRUCTION TO MINIMIZE SIDEWALK CLOSURES. 1 WEEKS
 4. EXCAVATE FOR FOUNDATIONS AND CONSTRUCT NEW BUILDING AND CHSITE FEATURES. CONTRACTOR TO COORDINATE CONSTRUCTION OF OFF-SITE SIDEWALKS IN STAGES TO MINIMIZE SIDEWALK CLOSURES. 14 MONTHS
 5. RECONSTRUCT REMAINDER OF CURB AND SIDEWALK. 2 WEEKS
 6. REMOVE ANY REMAINING SOIL EROSION AND SEDIMENT CONTROL MEASURES. 1 DAY
- DURATION 15 MONTHS

SOIL COMPACTION EXEMPTION NOTE

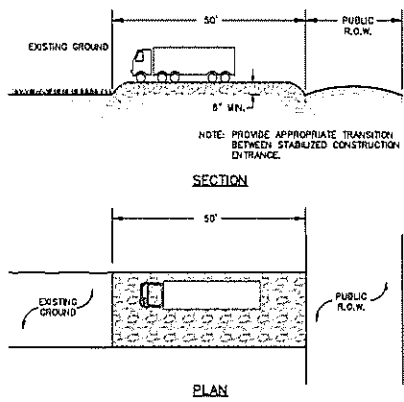
AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (MPA). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED BY WOODY VEGETATION NOR REDWOOD. IN ACCORDANCE WITH NEW JERSEY STANDARDS FOR LAND GRADING (REVISED 2017), HIGH WOODY VEGETATION PAI AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LISTED AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY MAEP AS "PREVIOUSLY DEVELOPED"

PROJECT: TAX LOT 5

NOTE:
THE EXISTING CONDITIONS DEPICTED ON THIS DRAWING ARE TAKEN FROM A TOPOGRAPHIC AND BOUNDARY SURVEY ISSUED BY V4 LAND SURVEYING, PLLC WITH OFFICE IN HOBOKEN, NJ 07030 AND SIGNED ON 08/25/2022.



512 -522 SCOTLAND ROAD BLOCK 5902, LOTS 3 & 4	
City of Orange	Essex County
New Jersey	
SEDIMENT AND SOIL EROSION CONTROL PLAN	
Edwin A. Reimon 11 Park Avenue, Rutherford, NJ 07070 edwin@edwinreimonengineeringservices.com	Job #: 23042 Scale: AS SHOWN Date: 01/10/24
Edwin A. Reimon, P.E. NJ PROFESSIONAL ENGINEER NO. 761980980	Drawn By: A.R. Checked By: E.A.R. Sheet #: C-5



SECTION

PLAN

A STABILIZED CRUSHED STONE, VEHICLE WHEEL-CLEANING PAD SHALL BE INSTALLED AT POINTS OF ACCESS TO A CONSTRUCTION SITE. THE PAD WILL BE OF SUFFICIENT SIZE TO REDUCE OFF-SITE TRACKING OF SEDIMENT OF CONSTRUCTION VEHICLES AND WILL BE MAINTAINED IN GOOD ORDER UNTIL ALL ROADWAYS ARE STABILIZED.

DESIGN CRITERIA:

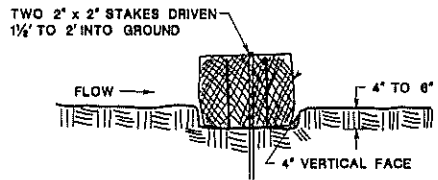
A) STONE SIZE: ASTM C-33, SIZE NO. 2 OR 3, CRUSHED STONE.

B) THICKNESS: MINIMUM SIX (6) INCHES.

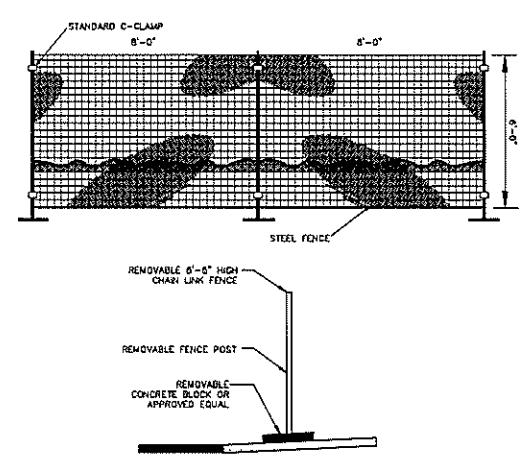
C) WIDTH: NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OR EGRESS.

D) LENGTH: 50' FOR COURSE GRADED SOILS.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



HAY BALE DETAIL
NOT TO SCALE

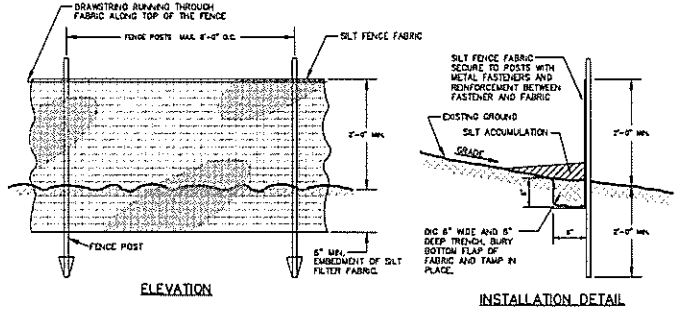


NOTES:

1. SECURE FENCE WITH STANDARD CLAMP WITH BANDING PLATE AND NUT.

2. GATE TO BE SECURED WITH GATE LOCKING SET.

TEMPORARY CHAIN LINK FENCE/GATE DETAIL
NOT TO SCALE

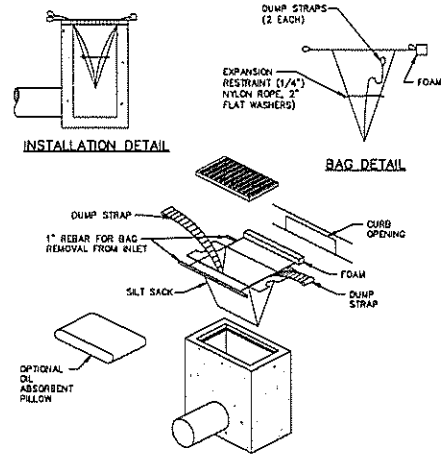


MATERIALS:

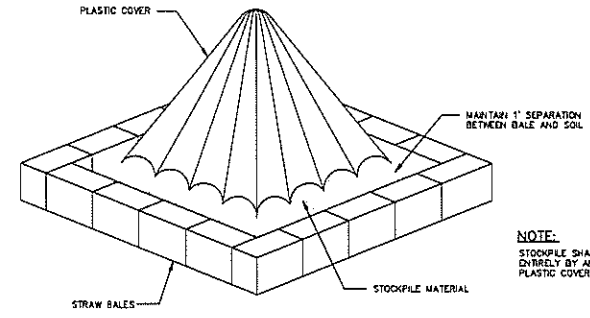
SILT FENCE CLOTH: FILTER X, POLY-FILTER X, MAW 100X, LAUREL EROSION CONTROL CLOTH, GROM OR APPROVED EQUAL (LOW RESISTANCE).

FENCE POST: 2" HARDWOOD OR 1" OF 10" TYPE STEEL (WEIGHTING NOT LESS THAN 1.33 POUNDS PER LINEAR FOOT).

SILT FENCE DETAIL
NOT TO SCALE



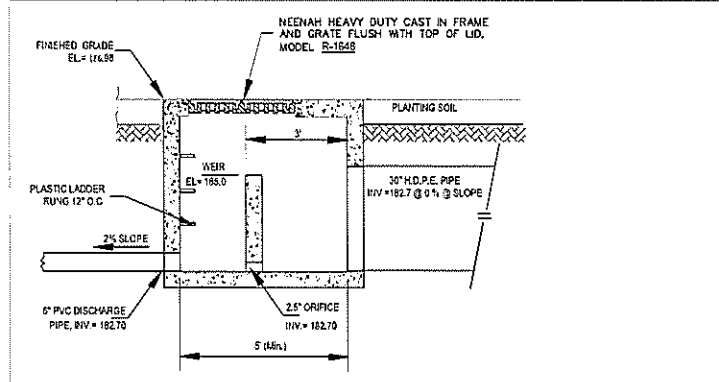
INLET PROTECTION DETAIL
NOT TO SCALE



NOTE:

STOCKPILE SHALL BE COVERED ENTIRELY BY AN ANCHORED PLASTIC COVER.

SOIL STOCKPILE PROTECTION DETAIL
NOT TO SCALE



OUTLET STRUCTURE DETAIL
NOT TO SCALE

VEGETATIVE COVER MAINTENANCE NOTES

- MAINTENANCE SHOULD OCCUR ON A REGULAR BASIS, CONSISTENT WITH FAVORABLE PLANT GROWTH, SOIL AND CLIMATIC CONDITIONS. THIS INVOLVES REGULAR SEASONAL WORK FOR MOWING, FERTILIZING, LIMING, WATER, PRUNING, FIRE CONTROL, WEED AND PEST CONTROL, RESEEDING AND TIMELY REPAIRS.
- MOWING ON IMPROVED AREAS, SUCH AS LAWNS, CERTAIN RECREATION FIELDS AND PISCINE AREAS SHALL BE FREQUENT, ON SEMI-IMPROVED AREAS, MOWING WILL BE INFREQUENT. UNIMPROVED AREAS MAY BE LEFT UNMOWN TO PERMIT NATURAL SUCCESSION.
- FERTILIZER SHOULD BE APPLIED AS NEEDED TO MAINTAIN A DENSE STAND OF DESIRABLE SPECIES. FREQUENTLY MOWN AREAS AND THOSE ON SANDY SOILS WILL REQUIRE MORE FERTILIZATION.
- LIME REQUIREMENT SHOULD BE DETERMINED BY SOIL TESTING TO BE DONE EVERY 2 OR 3 YEARS. FERTILIZATION WILL INCREASE THE NEED FOR LIMING.
- WEED INVASION MAY RESULT FROM ABUSIVE MOWING AND INADEQUATE FERTILIZATION AND LIMING. BRUSH INVASION IS A COMMON CONSEQUENCE OF LACK OF MOWING. CONTROL OF WEEDS OR BRUSH SHALL BE ACCOMPLISHED BY USING HERBICIDES OR MECHANICAL METHODS.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE DURING AND AFTER CONSTRUCTION.

SEEDING SCHEDULE

- TEMPORARY SEEDING WHERE REQUIRED SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL. TEMPORARY SEEDING TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEM OCCURS, THE ERODED AREAS SHALL BE REPAIRED AND STABILIZED AS DESCRIBED IN SPEC NOTE #6.

SEED SELECTION	SEEDING RATES	OPTIMUM SEEDING DATE (Zone 0)
SPRING OATS	2.0 LBS / 1000 SF	3/1 - 5/15 8/15 - 10/1
WEEPING LOVEGRASS	0.2 LBS / 1000 SF	6/15 - 8/15

SEED SELECTION	SEEDING RATES	OPTIMUM SEEDING DATE
Tall Fescue	2.7 lbs / 1000 sf	3/1 - 4/30
Perennial Ryegrass	0.7 lbs / 1000 sf	5/1 - 8/14
Kentucky Bluegrass	0.9 lbs / 1000 sf	6/15 - 11/15

NOTE:

O = Optimal Planting Period
A = Acceptable Planting Period

- SLOPED AREA TO BE COVERED WITH MULCH FOR STABILIZATION.
- APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY BUYERS CO-OPERATIVE EXTENSION. SOIL SAMPLE WALKERS ARE AVAILABLE FROM THE BUYERS CO-OPERATIVE EXTENSION OFFICE. FERTILIZER SHALL BE APPLIED AT THE RATE 400 POUNDS PER ACRE OR 11 POUNDS PER 1000 SF OF 10-20-10 OR EQUIVALENT WITH 30% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATED OTHERWISE. APPLY LIMESTONE IN ACCORDANCE WITH TABLE 1 BELOW. AND/OR THE RESULTS OF SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES. TABLE 1 IS A GENERAL GUIDELINE FOR LIMESTONE APPLICATION RATES.

TABLE 1: LIMESTONE APPLICATION RATE BY SOIL TEXTURE

SOIL TEXTURE	TONS/ACRES	LBS./1000 SQ.FT.
CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45

NOTE: PULVERIZED DOLOMITIC LIMESTONE IS PREFERRED FOR MOST SOILS SOUTH OF THE NEW BRUNSWICK-TRENTON LINE.

- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE #6.
- MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 115 LBS/1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, OR LIQUID MULCH BINDER.
- WORK LINE AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONFINED TILLAGE WITH A READILY UNIFORM, FINE SEEDBED IS SPREAD, ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHENEVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

DUST CONTROL NOTES

AS PER STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 1998. THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1)

VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (PG. 4-1), AND PERMANENT STABILIZATION WITH SOD (PG. 6-1)

SPRAY-ON AGGREGATES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS) KEEP TRAFFIC OFF THESE AREAS.

TABLE 16-1: DUST CONTROL MATERIALS

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
FRESH IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON			
POLYACRYLAMIDE (PAM) - DRY SPRAY			
ACCUMULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BLOW FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

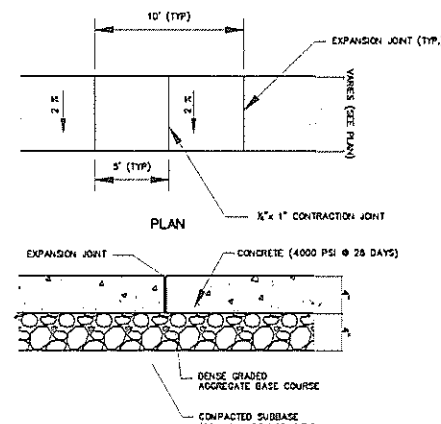
SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARBERS - SOLID BOARD FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO PASS THROUGH COMMONLY USED SCREENS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

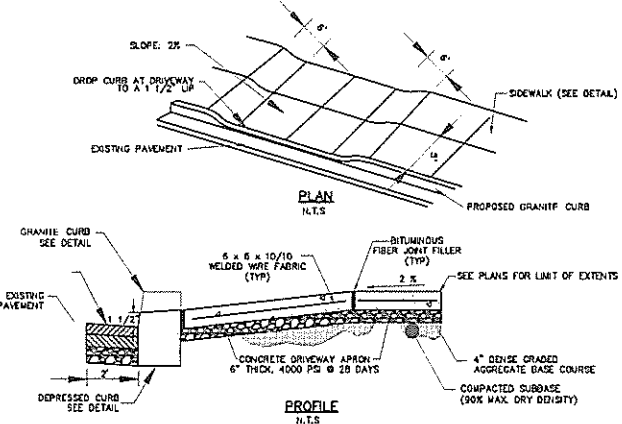
STERS - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

Date	Revised	Drawn	Checked
512 - 522 SCOTLAND ROAD BLOCK 5902 LOTS 3 & 4			
City of Orange		Essex County	New Jersey
SOIL EROSION AND SEDIMENT CONTROL DETAILS			
Edwin A. Reimon 11 Park Avenue, Rutherford, NJ 07070 (201) 939-0001 Edwin@edwinreimonengineering.com		Job #: 23042 Scale: AS SHOWN Date: 1/10/2024	Sheet #: C-6
Edwin A. Reimon, P.E. NJ PROFESSIONAL ENGINEER #R 373 2421 (01/24/2024)		Drawn By: AR Checked By: LAR	



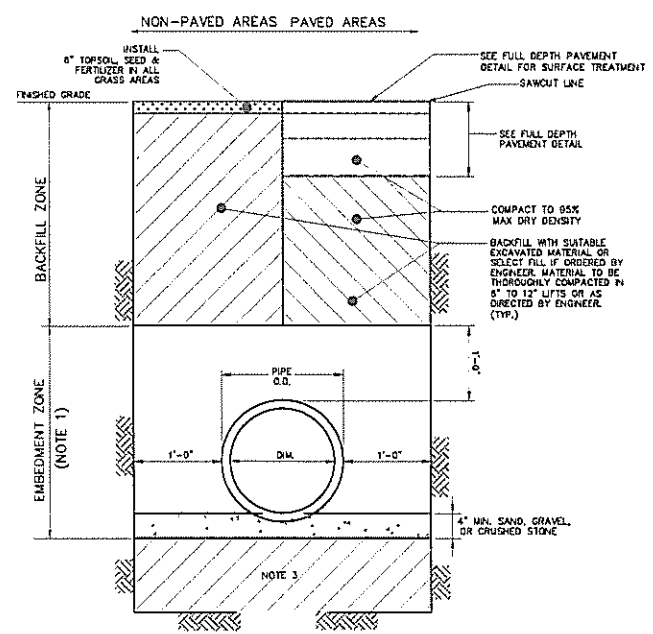
- NOTES:**
- CONCRETE SHALL BE LAID IN ALTERNATE SECTIONS 10 FEET LONG. EACH SECTION SHALL BE LAID IN ONE OPERATION AS A MONOLITH. THE UPPER SURFACE SHALL BE FINISHED BEFORE THE LOWER PORTION OF THE SLAB HAS SET.
 - THE SURFACE OF THE CONCRETE SHALL BE CAREFULLY GRADED AND SCREEDED WITH A STRIKE BOARD. THE SURFACE SHALL BE FINISHED WITH A WOODEN FLOAT TO THE SATISFACTION OF THE ENGINEER.
 - ADJACENT SECTIONS ARE TO BE SEPARATED BY AN EXPANSION JOINT COMPOSED OF A PREFORMED BITUMINOUS JOINT FILLER OR PREFORMED BITUMINOUS CELLULAR TYPE JOINT FILLER, 1/2" THICK.
 - AFTER FINISHING THE CONCRETE SHALL PRESENT AN EVEN SURFACE TO THE REQUIRED GRADE AND SHALL BE FREE FROM HOLES, MARKS, DIFFERENCE IN COLOR AND OTHER IMPERFECTIONS.
 - CONCRETE FOR CURB AND SIDEWALK CONSTRUCTION SHALL BE 4,000 PSI MINIMUM.
 - CONCRETE CURB AND SIDEWALK CONSTRUCTION SHALL EXTEND TO THE CLOSEST JOINT, EVEN IF THAT JOINT EXTENDS BEYOND PROPERTY LINE.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE



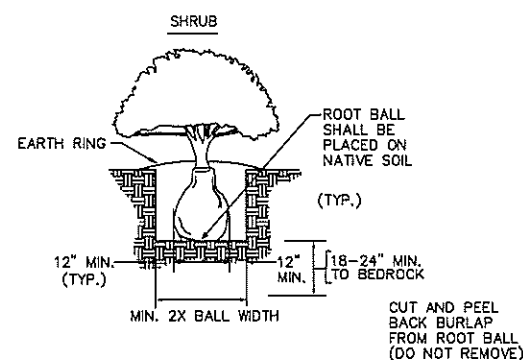
- DETAIL NOTES:**
- CONCRETE TO TEST 4000 POUNDS PER SQUARE INCH MINIMUM ON 28 DAY COMPRESSIVE TEST.
 - ALL CONCRETE IS TO BE PROPERLY CURED USING A CURING COMPOUND, SALT HAY, BURLAP OR OTHER METHOD ACCEPTABLE TO THE ENGINEER.
 - CONCRETE SLUMP TO BE A MAXIMUM OF 3 INCHES OR AS DIRECTED BY THE TOWNSHIP ENGINEER.
 - A HALF INCH EXPANSION JOINT OF A NON-EXTRUDABLE FIBROUS, BITUMASTIC MATERIAL SHALL BE PLACED ON 20 FT. CENTERS MAXIMUM.
 - CONTRACTOR TO NOTIFY TOWNSHIP ENGINEER TWO (2) DAYS PRIOR TO POURING.

CONCRETE DRIVEWAY APRON DETAIL
NOT TO SCALE



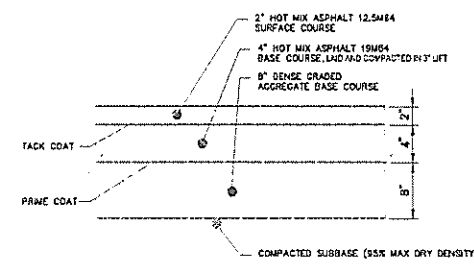
- NOTES:**
- BACKFILL IN EMBEDMENT ZONE SHALL BE PLACED BY HAND IN 6 INCH LIFTS ON BOTH SIDES OF PIPE TO 1 FOOT OVER PIPE TO PREVENT DISPLACEMENT. COMPACT TO 95% MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D-1557.
 - BACKFILL IN BACKFILL ZONE SHALL BE PLACED BY HAND OR MACHINE IN 6 INCH LIFTS FROM 1 FOOT ABOVE PIPE TO SUB-GRADE AREAS FOR PAVEMENT, PAVED OR GRASS AREAS. COMPACT TO 95% MAX. DRY DENSITY IN PAVED OR H-20 LOADING AREAS AND 95% MAX. DRY DENSITY IN LAWN OR UNPAVED AREAS IN ACCORDANCE WITH ASTM D-1557.
 - IF UNSUITABLE SOIL MATERIALS ARE ENCOUNTERED, REMOVE AND REPLACE WITH 12 INCHES ADDITIONAL BEDDING OR AS DIRECTED BY ENGINEER.
 - DENSE GRADED AGGREGATE BEDDING MATERIAL SHALL BE COMPACTED IN 6" LIFTS WITH A FLAT FACE MECHANICAL TAMPER TO 95% MAX. DRY DENSITY.
 - BEDDING AND BACKFILL MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE NDOT'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, AND THE DESIGN AND CONSTRUCTION OF URBAN STORMWATER MANAGEMENT SYSTEMS, ASCE MANUALS AND REPORTS OF ENGINEERING PRACTICE NO. 77, 1993, AS APPLICABLE.

TYPICAL PIPE BEDDING/ TRENCH DETAIL
NOT TO SCALE



- NOTE:**
ALL BACKFILL USED IN PLANTING PROCESS SHALL CONSIST OF:
- 1 PART PEAT MOSS
 - 3 PARTS TOPSOIL, AND
 - 1 PART SURROUNDING NATIVE SOIL.
2. PROVIDE 4" HARDWOOD MULCH FOR ALL TREES AND SHRUBS.

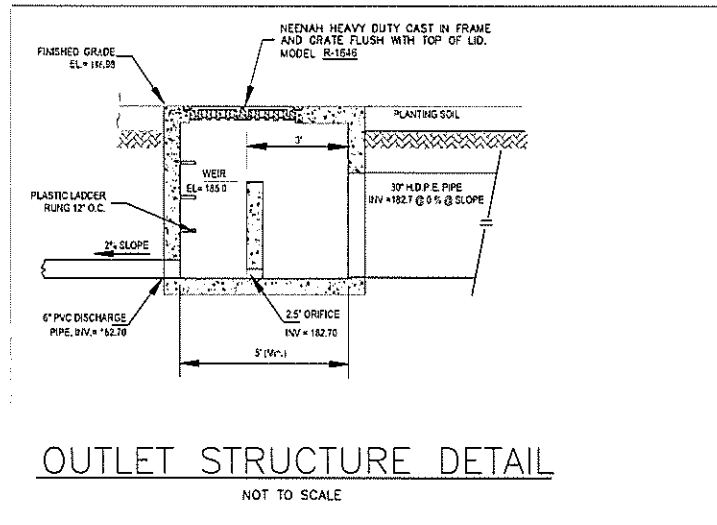
PLANTING DETAIL
N.T.S.



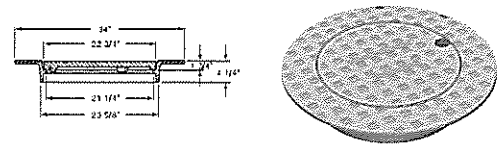
- NOTES:**
- TACK COAT MATERIAL TO BE INSTALLED BETWEEN ASPHALT LAYERS AND EDGES WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
 - AN APPLICATION TO OPEN PUBLIC GROUNDS IS REQUIRED BY THE TOWNSHIP ENGINEERING DEPARTMENT WHEN WORKING IN AREA.
 - ALL ROADWAY PAVEMENTS SHALL CONFORM TO RES OR THE NDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MOST RECENT EDITION, WHICHEVER IS APPLICABLE.

FULL DEPTH PAVEMENT DETAIL
NOT TO SCALE

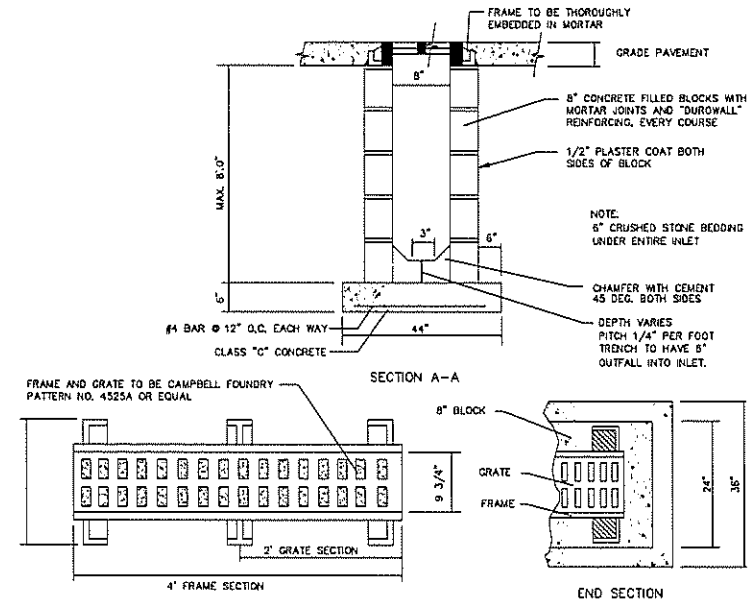
Job No.	512 - 522 SCOTLAND ROAD BLOCK 5902 LOTS 3 & 4	Scale	AS SHOWN
Location	City of Orange, Essex County, New Jersey	Date	1/10/2024
CONSTRUCTION DETAILS		Drawn By:	Sheet #:
Edwin A. Reimon 11 Park Avenue, Rutherford, NJ 07070 (201) 939-0001 reimon5@msn.com		A.R.	C-7
Edwin A. Reimon, P.E. 30 PARK AVENUE, RUTHERFORD, NJ 07070		Checked By:	E.A.R.



OUTLET STRUCTURE DETAIL
NOT TO SCALE

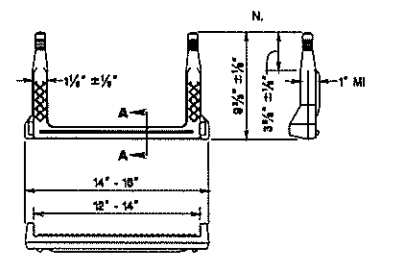


MANHOLE FRAME & COVER
NOT TO SCALE



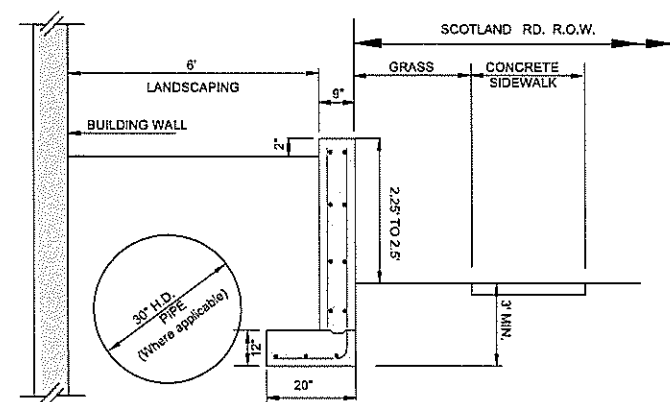
TRENCH DRAIN (TD-1)
NOT TO SCALE

NOTE:
GRATE OPENINGS NOT TO EXCEED 1.5'W x 4' L



COPOLYMER POLYPROPYLENE PLASTIC LADDER RUNG

NOTE:
LADDER RUNGS 12' O TO O

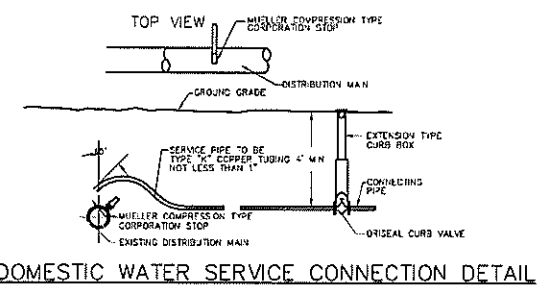


CONCRETE WALL DETAIL
NOT TO SCALE

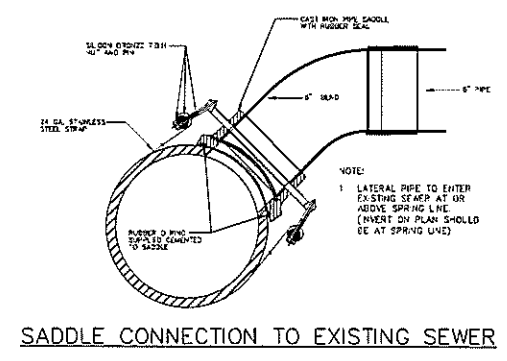
NOTE:
STRUCTURAL ENGINEER TO PROVIDE DESIGN OF WALL DURING CONSTRUCTION PHASE

Job #	23042	Sheet #	C-8
512 - 522 SCOTLAND ROAD BLOCK 5902 LOTS 3 & 4			
City of Orange Essex County New Jersey			
CONSTRUCTION DETAILS			
Edwin A. Reimon 11 Park Avenue, Rutherford, NJ 07070 edwin@edwinreimonengineeringservices.com		Job #:	23042
		Scale:	AS SHOWN
		Date:	1/10/2024
Edwin A. Reimon, P.E. 10 PROFFESORIAL DRIVE, SUITE 210, RUTHERFORD, NJ 07070		Drawn By:	A.R.
		Checked By:	E.A.R.

PROJECT: TIME: 4:30 PM DATE: 11/10/24

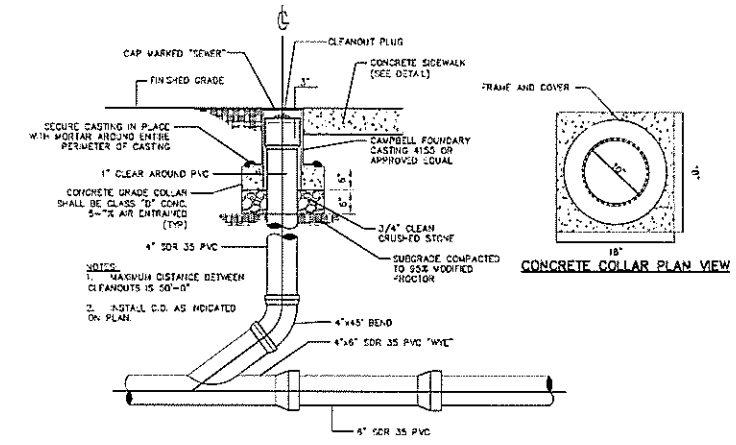


DOMESTIC WATER SERVICE CONNECTION DETAIL

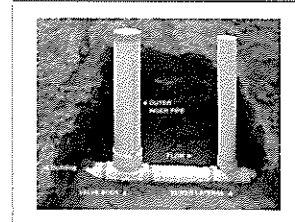
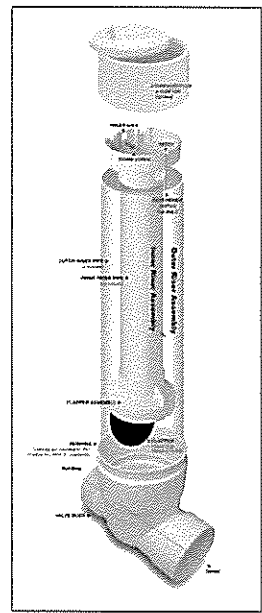


SADDLE CONNECTION TO EXISTING SEWER

NOTE:
1. SADDLE CONNECTION SHALL BE MADE THROUGH A CORE DRILLED HOLE IN THE EXISTING SEWER PIPE. THE USE OF OARUM IS PROHIBITED.

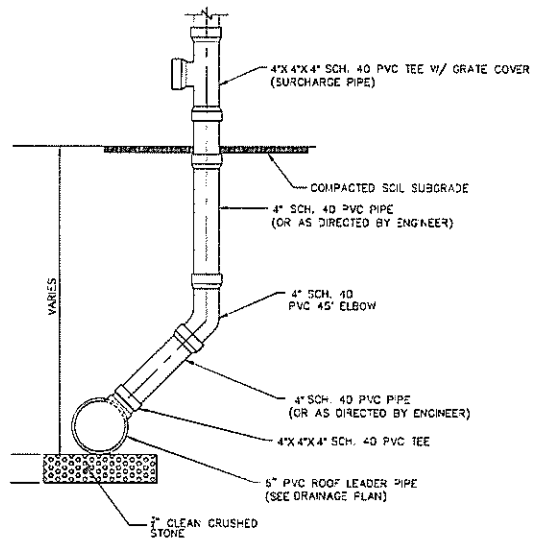


TYPICAL CLEANOUT DETAIL
NOT TO SCALE



BACKFLOW PREVENTER DEVICE WITH CLEANOUT

NOTES
NOT TO SCALE
1. CLEAN CHECK EXTENDABLE BACKFLOW VALVE BY PECTORSEAL. WWW.PECTORSEAL.COM OR APPROVED EQUAL TO BE USED ON 5" STORM PIPE DISCHARGE LINE TO EXISTING SEWER.

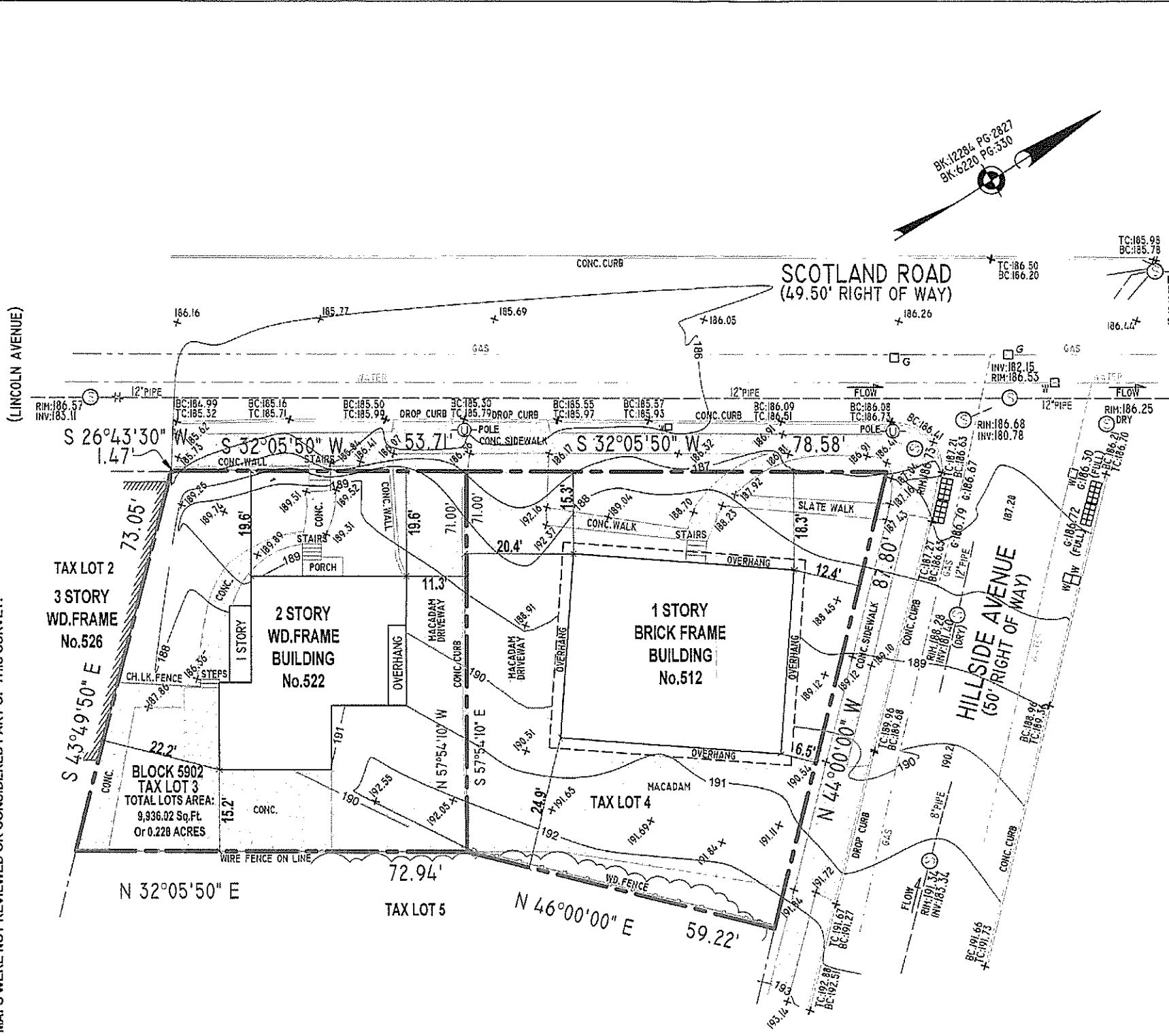


ROOF LEADER DETAIL
SCALE - N.T.S.

512 - 522 SCOTLAND ROAD BLOCK 5902 LOTS 3 & 4 City of Orange Essex County New Jersey	
CONSTRUCTION DETAILS	
Edwin A. Reimon 11 Park Avenue, Rutherford, NJ 07070 edwin@edwinreimonengineeringservices.com	Job #: 23042 Scale: AS SHOWN Date: 1/10/2024
Edwin A. Reimon, P.E. REGISTERED PROFESSIONAL ENGINEER 246284000	Drawn By: A.R. Checked By: E.A.R. Sheet #: C-9

SURVEYORS NOTES:

- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON HIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE OR ON RECORD AT THE TIME OF THE MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY.
- SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
- WETLANDS LOCATION ARE NOT CONSIDERED PART OF CONTRACTUAL OBLIGATIONS OR PART OF THIS SURVEY.
- FLOOD PLAIN MAPS WERE NOT REVIEWED OR CONSIDERED PART OF THIS SURVEY.



NOTES:
 THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 THIS SURVEY IS SUBJECT TO ANY FACTS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
 A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14 (C45:8-36.3) AND N.J.A.C. 13:40-5.1 (d).
 N.J.A.C. 13:40-8.1A DIGITAL SIGNATURES AND SEALS
 A DIGITAL SIGNATURE AND SEAL SHALL CARRY THE SAME WEIGHT, AUTHORITY, AND EFFECT AS A HANDWRITTEN SIGNATURE AND IMPRESSION-TYPE SEAL

CHECKED BY:
RON P. T.D.
RODOLFO PIERRI
P.L.S.

DATE OF SIGNATURE 08 / 25 / 2022
 N.J. LAND SURVEYOR
 LICENSE NO. 24GS03860600

[Handwritten Signature]

TOPOGRAPHIC LOCATION SURVEY MAP
OF PROPERTY LOCATED AT
512 SCOTLAND ROAD
522 SCOTLAND ROAD
SITUATED IN THE CITY OF ORANGE
ESSEX COUNTY, NEW JERSEY
BLOCK 5902, TAX LOTS 3 AND 4

(PHONE)
V4 LAND SURVEYING PLLC
HOBOKEN, NEW JERSEY 07030
CERTIFICATE OF AUTHORIZATION NO. 24GA28372500

DATE OF SURVEY 07 / 24 / 2022
 DRAWING NO. V4 2022-680
 SHEET NO. 1/1

- LEGEND**
- HYDRANT
 - GAS VALVE
 - WATER VALVE
 - UTILITY POLE
 - SANITARY SEWER MANHOLE
 - SIGN
 - GAS LINE
 - WATER LINE
 - SEWER LINE
 - WIRE MARKING LINE
 - GAS MARK OUT
 - SPOT GRADE
 - TOP OF CURB
 - BOTTOM OF CURB
 - TOP OF WALL
 - BOTTOM OF WALL
 - FINISH FLOOR
 - EXIST. CONTOUR
- ELEVATIONS ARE BASED ON NAVD 88 DATUM
 CONTOUR INTERVAL EQUALS 1 FOOT.
 ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN.

NEW CONSTRUCTION

MULTIFAMILY RESIDENTIAL

512-522 SCOTLAND ROAD

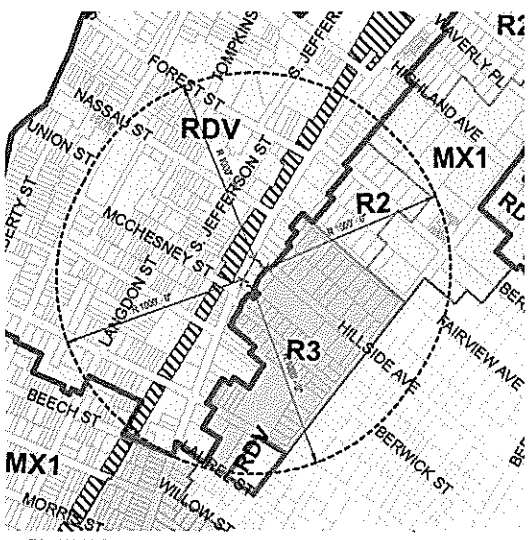
CITY OF ORANGE, NJ 07050

BLOCK:5902, LOT:3&4

ESSEX COUNTY

ZONING TABULATION CHART (CENTRAL VALLEY REDEVELOPMENT PLAN - DISTRICT 4)

ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE
PERMITTED USES	ONE, TWO AND THREE FAMILY HOUSES, LOW-RISE AND MID-RISE MULTIFAMILY APARTMENTS, GARDEN APARTMENTS, RESIDENTIAL OVER COMMERCIAL, PARK AND RECREATIONAL USES, RETAIL, RESTAURANTS, CAFE, ART GALLERIES, STUDIOS, OFFICES, ADAPTIVE REUSE	N/A	MULTIFAMILY RESIDENTIAL APARTMENT	NO
LOT SIZE	MIN 2 500 SF	LOT 4: 5,389.42 SF, LOT 3: 4,546.60 SF	LOT 4: 5,389.42 SF, LOT 3: 4,546.60 SF, TOTAL: 9,936.02 SF (+0.228 ACRE)	NO
LOT WIDTH	MIN 40'-0"	LOT 4: 59'22" TO 78'58", LOT 3: 53'71" TO 72'94"	LOT 4: 59'22" TO 78'58", LOT 3: 53'71" TO 72'94"	NO
LOT DEPTH	N/A	LOT 4: 71'00" TO 87'80", LOT 3: 71'00"	LOT 4: 71'00" TO 87'80", LOT 3: 71'00"	NO
FRONT YARD SETBACK	MIN 5'-0"	LOT 4: 15'3" TO 18'3" ON SCOTLAND ROAD SIDE AND 6'9" TO 12'4" ON HILLSIDE AVENUE SIDE, LOT 3: 19'6"	5'-0"	NO
SIDE YARD SETBACK	MIN 0'-0" MIN 5'-0" WHEN FACING STREET	LOT 4 N/A, LOT 3 11'3" TO 22'2"	N/A	NO
REAR YARD SETBACK	MIN 0'-0" MIN 0'-0" WHEN FACING AN ALLEY/DRIVEWAY	LOT 4: SCOTLAND ROAD REAR YARD 24'9" HILLSIDE AVENUE REAR YARD 20'4" LOT 3: 15'2"	0'-0"	NO
BUILDING HEIGHT	MAX 85'-0"	N/A	57'-0"	NO
M/N FLOOR TO CEILING HEIGHT - RESIDENTIAL	N/A	N/A	9'-6"	NO
MAX FLOOR TO FLOOR HEIGHT - RESIDENTIAL	N/A	N/A	10'-6"	NO
NUMBER OF STORIES	MAX 8 STORIES	LOT 4: 1 STORY, LOT 3: 2 STORIES	5 STORIES	NO
FLOOR AREA RATIO	MAX 4.00 (A 0.0 X 0.036 02 SF + 39 724.03 SF FOR MAX GROSS BUILDING AREA)	N/A	4.00 (39 743 SF FOR GROSS BUILDING AREA)	NO
DENSITY (NUMBER OF UNITS)	MAX 125/ACRE (160ACRE X 0.228 ACRE = 36.48 * 35 UNITS)	N/A	125/ACRE 36 UNITS	NO
LOT COVERAGE	N/A	N/A	84%	NO
BUILDING COVERAGE	MAX 90%	N/A	82%	NO
IMPERVIOUS COVERAGES	MAX 90%	N/A	84%	NO
AUTOMOBILE PARKING SPACES	MIN 9.5 SPACES/RESIDENTIAL UNIT AND 1 SPACE/400 SF FOR ALL OTHER USES (0.6 SPACE/RESIDENTIAL UNIT X 36 UNITS = 21.6 + 29 SPACES)	N/A	30 SPACES	NO
CURB CUT	N/A	N/A	10'-0"	NO
BIKE PARKING	N/A	N/A	5 SPACES	NO



1 ZONING MAP
1" = 400'-0"

ZONE	TYPE
RDV	REDEVELOPMENT AREA
ZONING DISTRICT MX-1	MIXED-USE LOW DENSITY RESIDENTIAL AND NEIGHBORHOOD COMMERCIAL ZONE
ZONING DISTRICT R-1	ONE FAMILY RESIDENTIAL ZONE
ZONING DISTRICT R-2	URBAN ONE AND TWO FAMILY RESIDENTIAL ZONE
ZONING DISTRICT R-3	LOW DENSITY MULTIFAMILY RESIDENTIAL ZONE



2 LOCATION MAP
1" = 100'-0"

BUILDING AND SITE DATA		
ITEM	DATA	
BLOCK NO.	5902	
LOT NO.	3&4	
ZONING	CENTRAL VALLEY RDV	
SITE AREA	LOT 3&4: 9,936.02 SF	
OCCUPANCY	R-3	
USE GROUP	MULTIFAMILY RESIDENTIAL	
BUILDING AREA	33,650 SF	

GROSS UNIT AREA SCHEDULE		
UNIT NO.	UNIT TYPE	AREA
SECOND FLOOR		
UNIT 201	ONE BEDROOM	777 SF
UNIT 202	ONE BEDROOM	664 SF
UNIT 203	ONE BEDROOM	660 SF
UNIT 204	TWO BEDROOM	897 SF
UNIT 205	STUDIO	417 SF
UNIT 206	TWO BEDROOM	907 SF
UNIT 207	ONE BEDROOM	650 SF
UNIT 208	ONE BEDROOM	620 SF
UNIT 209	TWO BEDROOM	947 SF
?		6519 SF
THIRD FLOOR		
UNIT 301	ONE BEDROOM	787 SF
UNIT 302	ONE BEDROOM	725 SF
UNIT 303	ONE BEDROOM	725 SF
UNIT 304	TWO BEDROOM	1039 SF
UNIT 305	STUDIO	415 SF
UNIT 306	TWO BEDROOM	907 SF
UNIT 307	ONE BEDROOM	650 SF
UNIT 308	ONE BEDROOM	650 SF
UNIT 309	TWO BEDROOM	947 SF
?		5868 SF
FOURTH FLOOR		
UNIT 401	ONE BEDROOM	695 SF
UNIT 402	ONE BEDROOM	613 SF
UNIT 403	TWO BEDROOM	806 SF
UNIT 404	TWO BEDROOM	1046 SF
UNIT 405	STUDIO	394 SF
UNIT 406	TWO BEDROOM	906 SF
UNIT 407	ONE BEDROOM	650 SF
UNIT 408	ONE BEDROOM	650 SF
UNIT 409	TWO BEDROOM	947 SF
?		5868 SF
FIFTH FLOOR		
UNIT 501	ONE BEDROOM	644 SF
UNIT 502	ONE BEDROOM	609 SF
UNIT 503	ONE BEDROOM	620 SF
UNIT 504	ONE BEDROOM	675 SF
UNIT 505	ONE BEDROOM	601 SF
UNIT 506	ONE BEDROOM	675 SF
UNIT 507	ONE BEDROOM	589 SF
UNIT 508	ONE BEDROOM	650 SF
UNIT 509	TWO BEDROOM	947 SF
?		6042 SF
TOTAL: 36		26227 SF

GROSS UNIT TYPE SCHEDULE		
UNIT TYPE	COUNT	MIN AND MAX AREA
ONE BEDROOM	22 (61.1%)	603 SF TO 773 SF
STUDIO	1 (8.3%)	394 SF TO 451 SF
TWO BEDROOM	11 (30.6%)	897 SF TO 1046 SF
GRAND TOTAL	34	

PARKING SCHEDULE		
PARKING SPACE TYPE	SPACES NUMBER	
HARDING SPACE - PASSENGER VEHICLE (9' X 18') (44X2)	2	
PARKING SPACE - ADA, 8' X 14' (9' ADA) VAN	2	
PARKING	4	
GRAND TOTAL	30	

GROSS BUILDING AREA	
DEPARTMENT	AREA
GROUND FLOOR EL. 186.5'	
CIRCULATION	959 SF
PARKING	1678 SF
SERVICE	410 SF
UTILITY	1075 SF
TOTAL	4022 SF
SECOND FLOOR	
CIRCULATION	934 SF
RESIDENTIAL	5213 SF
SERVICE	54 SF
UTILITY	60 SF
TOTAL	7001 SF
THIRD FLOOR	
CIRCULATION	934 SF
RESIDENTIAL	5265 SF
SERVICE	54 SF
UTILITY	60 SF
TOTAL	7203 SF
FOURTH FLOOR	
CIRCULATION	934 SF
RESIDENTIAL	5303 SF
SERVICE	54 SF
UTILITY	60 SF
TOTAL	7351 SF
FIFTH FLOOR	
CIRCULATION	997 SF
RESIDENTIAL	5242 SF
SERVICE	54 SF
UTILITY	60 SF
TOTAL	6353 SF
ROOF DECK	
AVENUE	702 SF
CIRCULATION	433 SF
TOTAL	1135 SF
GRAND TOTAL	32663 SF

GROSS BUILDING AREA BY USES	
DEPARTMENT	AREA
AVENUE	702 SF
CIRCULATION	5113 SF
PARKING	1678 SF
RESIDENTIAL	23227 SF
SERVICE	625 SF
UTILITY	1317 SF
GRAND TOTAL	32663 SF

PLANNING BOARD ARCHITECTURAL SHEET LIST				
SHEET NUMBER	SHEET NAME	ISSUE DATE	REV.#	REV. DATE
PB-000	TITLE SHEET	01/16/2024		
PB-010	CONTEXT PHOTOS	01/16/2024		
PB-020	SITE TRAXIST	01/16/2024		
PB-030	SURVEY	01/16/2024		
PB-040	SITE PLAN	01/16/2024		
PB-050	SITE LIGHTING PLAN	01/16/2024		
PB-060	BRE AND TRASH REMOVAL	01/16/2024		
PB-101	GROUND FLOOR PLAN	01/16/2024		
PB-102	SECOND FLOOR PLAN	01/16/2024		
PB-103	THIRD FLOOR PLAN	01/16/2024		
PB-104	FOURTH FLOOR PLAN	01/16/2024		
PB-105	FIFTH FLOOR PLAN	01/16/2024		
PB-106	ROOF PLAN	01/16/2024		
PB-201	SCOTLAND ROAD ELEVATION	01/16/2024		
PB-202	REAR ELEVATION	01/16/2024		
PB-203	HILLSIDE AVENUE ELEVATION	01/16/2024		
PB-301	SECTION 01	01/16/2024		
PB-400	ENLARGED EXTERIOR ELEVATIONS	01/16/2024		
PB-500	STREET VIEW	01/16/2024		
PB-904	STREET VIEW	01/16/2024		

PLANNING BOARD CIVIL SHEET LIST				
SHEET NUMBER	SHEET NAME	ISSUE DATE	REV.#	REV. DATE
C-1	EXISTING CONDITIONS & DEMOLITION PLAN	01/16/2024		
C-2	SITE PLAN	01/16/2024		
C-3	GRADING, DRAINAGE & UTILITY PLAN	01/16/2024		
C-4	LIGHTING PLAN	01/16/2024		
C-5	SOIL EROSION & SEDIMENT CONTROL PLAN	01/16/2024		
C-6	SOIL EROSION & SEDIMENT CONTROL DETAILS	01/16/2024		
C-7	CONSTRUCTION DETAILS	01/16/2024		
C-8	CONSTRUCTION DETAILS	01/16/2024		
C-9	CONSTRUCTION DETAILS	01/16/2024		

- CONSTRUCTION CODE COMPLIANCE:**
- 2021 INTERNATIONAL BUILDING CODE WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.14)
 - 2021 NATIONAL STANDARD PLUMBING CODE WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.15)
 - 2021 INTERNATIONAL MECHANICAL CODE WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.20)
 - 2020 NATIONAL ELECTRIC CODE WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.16)
 - N.J.A.C. 5:70 UNIFORM FIRE CODE
 - N.J.A.C. 5:27 BARRIER FREE SUBCODE AND ANSI A117-1:2017 WITH TECHNICAL AMENDMENTS AND RSI 2019 WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.18)
 - 2021 INTERNATIONAL FUEL GAS CODE WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.22)

CITY OF ORANGE TOWNSHIP PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

PLANNING BOARD APPROVAL

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CLIENT:
NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
512-522 SCOTLAND ROAD
CITY OF ORANGE, NJ 07050
BLOCK:5902 LOT:3&4

CLIENT:
QL PROPERTIES

CONSULTANTS:
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SURVEYOR ENGINEER:
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REVISIONS		
NO.	DATE	DESCRIPTION

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PROJECT NUMBER: DRAWING NO:
DESIGNED BY: CHECKED BY:
DRAWN BY: DATE: TITLE SHEET:
SHEET NO.: PAGE NO:
PB-000

Consent and compliance of the project... (fine print text)



AERIAL VIEW



STREET VIEW - HILLSIDE AVENUE



STREET VIEW - SCOTLAND ROAD 1



STREET VIEW SCOTLAND ROAD 2



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PROJECT:
 NEW CONSTRUCTION
 MULTIFAMILY RESIDENTIAL
 512-522 SCOTLAND ROAD
 CITY OF ORANGE, NJ 07050
 BLOCK:5902 LOT:3&4

CLIENT:
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- X
- X
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- X
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- X

DEVELOPMENT APPLICATION: 15 JANUARY 2024

PERMIT SUBMISSION

PROJECT: 15 JANUARY 2024

REVISIONS

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT NUMBER: DRAWN BY:
 18_03 AJR

DESIGNED BY: CHECKED BY:
 ER, SJ ER, SJ

SHEET TITLE:
 CONTEXT PHOTOS

SHEET NO.: PAGE NO.:

PB-010

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PROJECT
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 512-522 SCOTLAND ROAD
 CITY OF ORANGE, NJ 07050
 BLOCK: 5902 LOT: 384

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DEVELOPMENT APPLICATION	16 JANUARY 2024	
PERMIT SUBMISSION		
PROGRAM	16 JANUARY 2024	
REVISIONS		
NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT NUMBER: _____ DRAWN BY: _____

PREPARED BY: _____ CHECKED BY: _____

SHEET TITLE: SITE TRANSIT

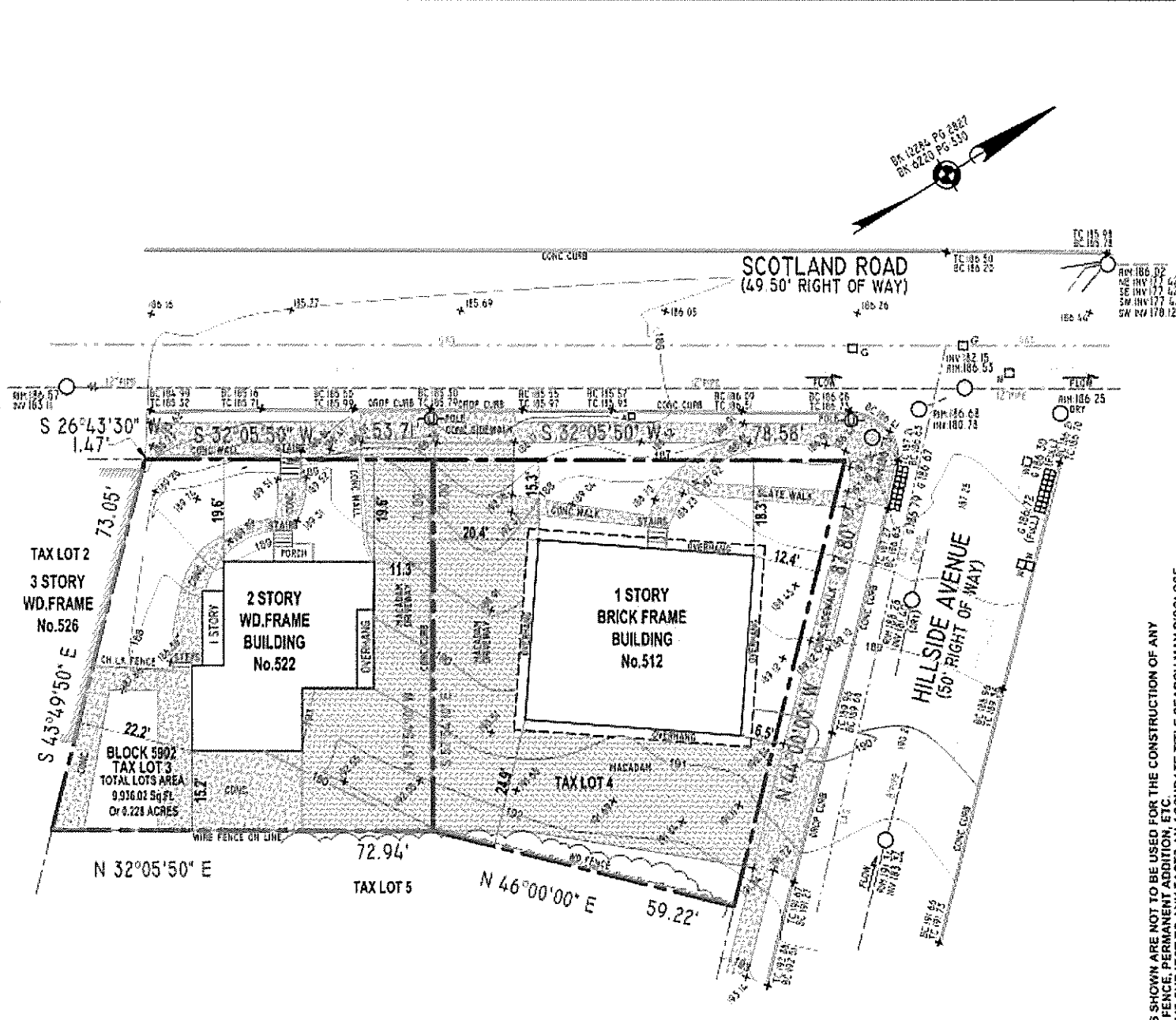
SHEET NO.: _____ PAGE NO.: _____

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SURVEYORS NOTES:
-EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE OR ON RECORD AT THE TIME OF THE MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
-DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
-SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR
-SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY.
-WETLANDS LOCATION ARE NOT CONSIDERED PART OF CONTRACTUAL OBLIGATIONS OR PART OF THIS SURVEY.
-FLOOD PLAIN MAPS WERE NOT REVIEWED OR CONSIDERED PART OF THIS SURVEY.

(LINCOLN AVENUE)

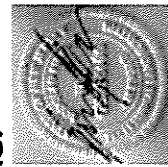


NOTES:
THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE. FENCE PERMANENT ADDITION ETC THIS SURVEY IS SUBJECT TO ANY FACTS AN ACCURATE TITLE SEARCH MAY DISCLOSE. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003.c.14 (C45:8-36.3) AND N.J.A.C. 13:40-5.1 (d). N.J.A.C. 13:40-6.1A DIGITAL SIGNATURES AND SEALS A DIGITAL SIGNATURE AND SEAL SHALL CARRY THE SAME WEIGHT, AUTHORITY, AND EFFECT AS A HANDWRITTEN SIGNATURE AND IMPRESSION-TYPE SEAL.

TOPOGRAPHIC LOCATION SURVEY MAP

OF PROPERTY LOCATED AT
512 SCOTLAND ROAD
522 SCOTLAND ROAD
SITUATED IN THE CITY OF ORANGE
ESSEX COUNTY, NEW JERSEY
BLOCK 5902, TAX LOTS 3 AND 4

RON P. T.D.
RODOLFO PIERRI
P.L.S.



DATE OF SIGNATURE 08 / 25 / 2022
N.J. LAND SURVEYOR
LICENSE NO.240503560000

(PHONE)
201-628-1958

V4 LAND SURVEYING PLLC
HOBOKEN, NEW JERSEY 07030
CERTIFICATE OF AUTHORITY BY: M.S. MACAULAY, 060300

SCALE 1"=50'
DATE OF SURVEY 07 / 24 / 2022
DRAWING NO. V4 2022-680
SHEET NO. 1/1

- LEGEND**
- EASEMENT
 - GAS VALVE
 - WATER LINE
 - UTILITY POLE
 - SANITARY SEWER MANHOLE
 - STREET
 - STREET LIGHT (METAL POLE)
 - GAS LINE
 - WATER LINE
 - SEWER LINE
 - GAS MARK/CUT
 - STOP GUARD
 - TOP OF CURB
 - BOTTOM OF CURB
 - TOP OF WALL
 - BOTTOM OF WALL
 - FINISH FLOOR
 - EASEMENT
- ELEVATIONS ARE BASED ON NAVD 83 DATUM
CIRCUIT INTERVAL EQUALS 1 FOOT
ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN

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PROJECT
NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
512-522 SCOTLAND ROAD
CITY OF ORANGE, NJ 07090
BLOCK 5902 LOT:3&4

CLIENT
CL PROPERTIES

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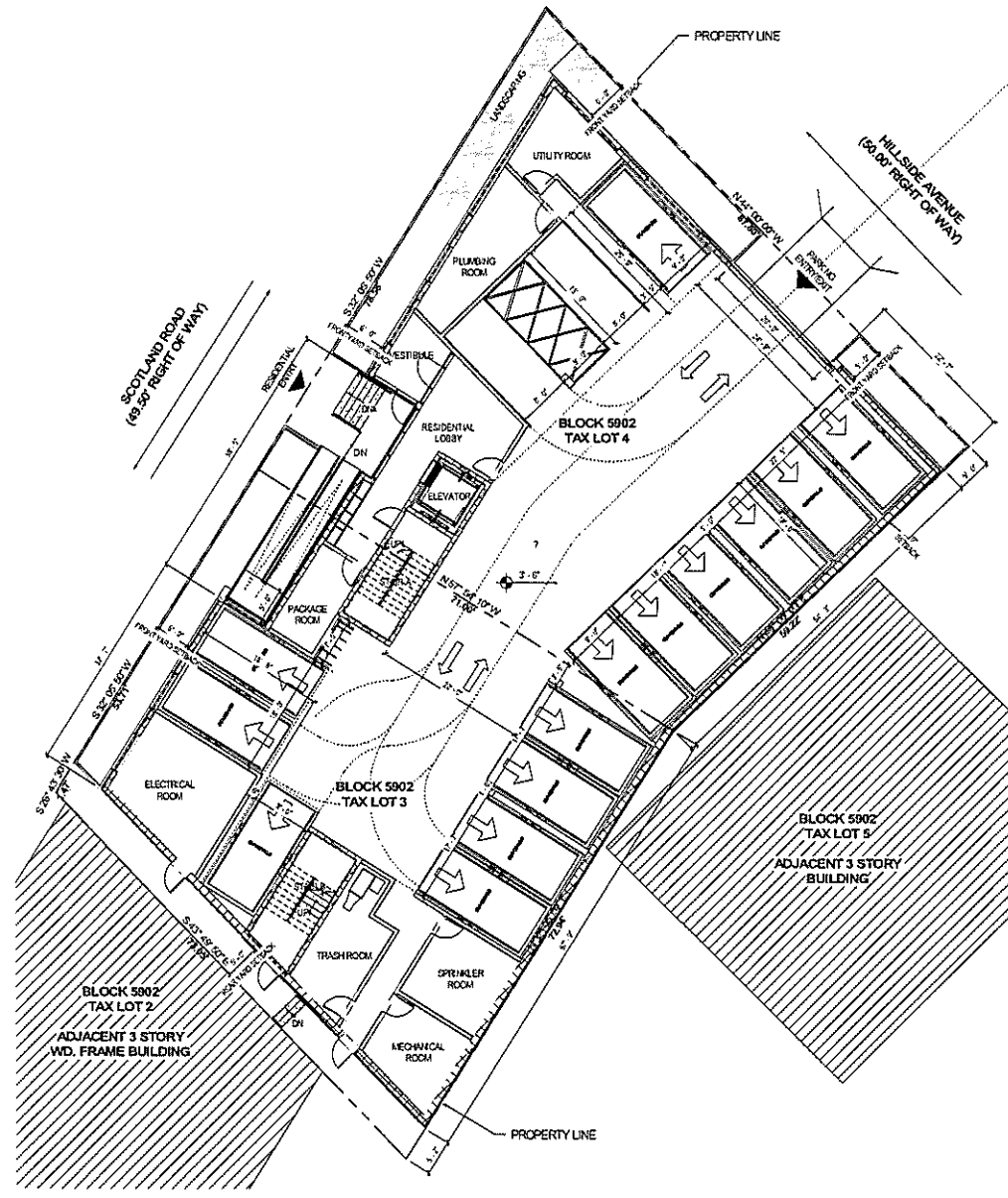
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<small>DEVELOPMENT APPLICATION:</small> 16 JANUARY 2024	
<small>PERMIT SUBMISSION:</small>	
<small>PROCESSED:</small> 16 JANUARY 2024	
<small>REVISION:</small>	
<small>NO.</small>	<small>DATE DESCRIPTION</small>

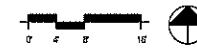
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<small>PROJECT NUMBER:</small>	<small>DRAWN BY:</small>
	RP
<small>DESIGNED BY:</small>	<small>CHECKED BY:</small>
NR, RG	
<small>SHEET TITLE:</small>	
SURVEY	
<small>SHEET NO.:</small>	<small>PAGE NO.:</small>
PB-030	

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1 SITE PLAN
3/32" = 1'-0"



PARKING SCHEDULE	
PARKING SPACE TYPE	SPACES NUMBER
PARKING SPACE - PARKING ASS. STANDARD, 8' X 18'	2 (1122)
PARKING SPACE - ADA, 8' X 18' (2 ADA) VAN	2 (1122)
GRAND TOTAL	30



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PROJECT:
NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
512-522 SCOTLAND ROAD
CITY OF ORANGE, NJ 07050
BLOCK:5902 LOT:3&4

CITY:
ORANGE PROPERTIES

CONSULTANT:
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7: 201 628 1958

- X
- X
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DEVELOPMENT APPLICATION: 16 JANUARY 2024
PERMIT SUBMISSION:
PROCESSED: 16 JANUARY 2024

NO.	DATE	DESCRIPTION

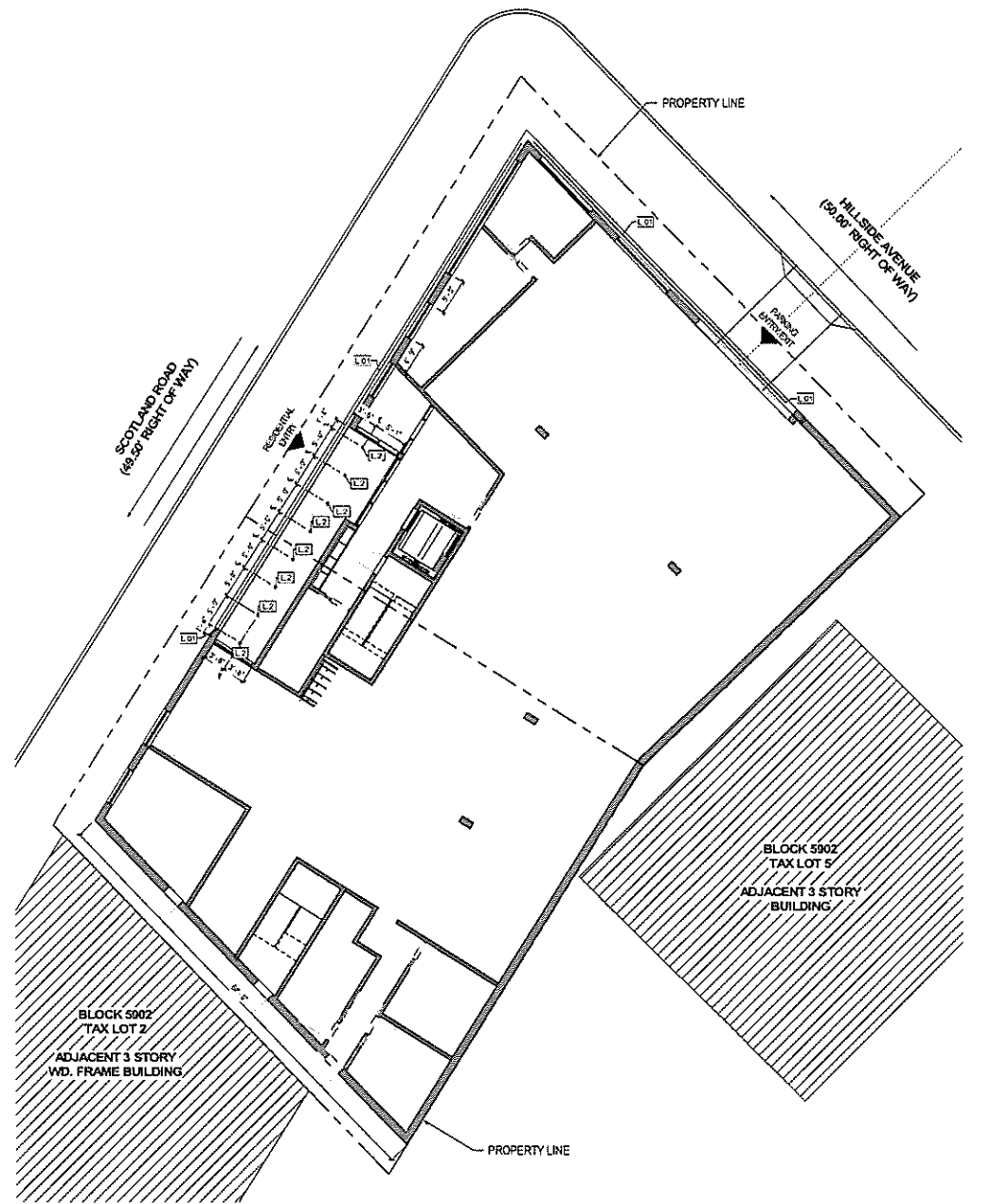
NOT FOR CONSTRUCTION

PROJECT NUMBER: DRAWN BY:
DESIGNED BY: CHECKED BY:
HR:RS




SHEET TITLE:
SITE PLAN

SHEET NO.: PAGE NO.:
PB-040

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1 SITE LIGHTING PLAN
3/32" = 1'-0"

LIGHTING FIXTURE	
L01 OUTDOORLED RECESSED LINEAR LIGHT MANUFACTURER WESTGATE MFG	
L02 OUTDOOR DOWNLIGHT DOWNLIGHT MANUFACTURER B-K LIGHTING INC	
L03 OUTDOOR SCENCE WALL MOUNTED DOWNLIGHT MANUFACTURER B-K LIGHTING INC	

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PROJECT:
NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
512-522 SCOTLAND ROAD
CITY OF ORANGE, NJ 07050
BLOCK:5902 LOT:3&4

CLIENT:
OL PROPERTIES

CONSULTANT:
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V4 LAND SURVEYING PLLC LLC
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X
X
X
X
X

DEVELOPMENT APPLICATION: 16 JANUARY 2024

PERMIT: BLW160204

PROJECT: 16 JANUARY 2024

REVISIONS

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

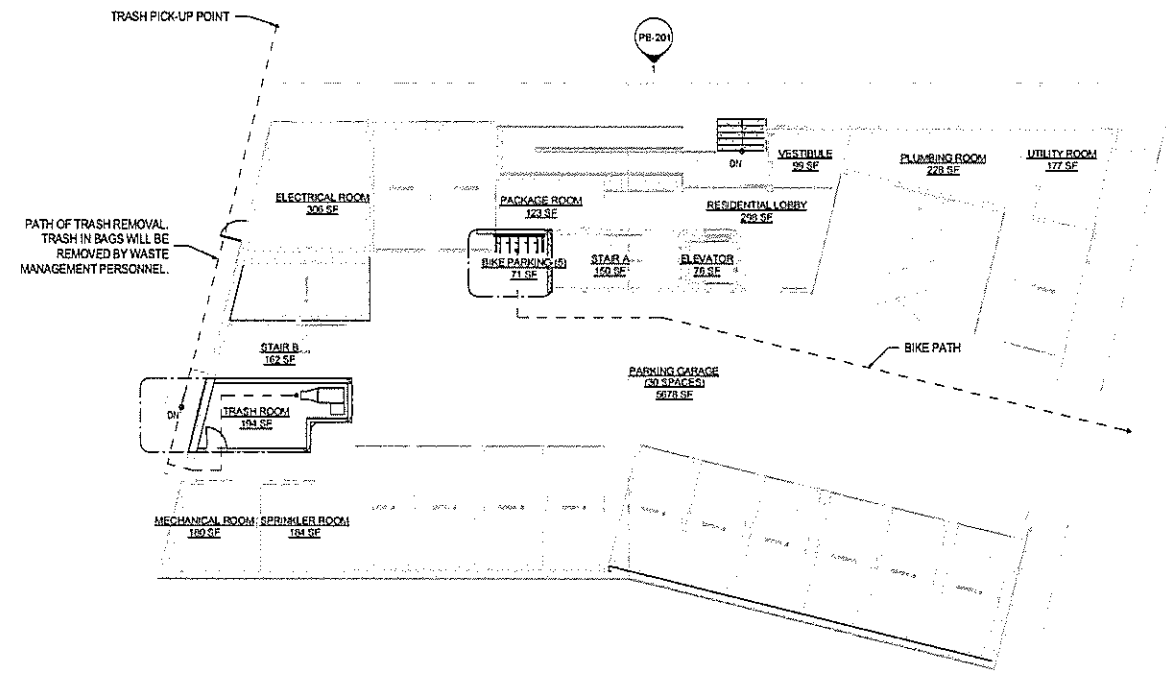
PROJECT NUMBER: Design By:
AJR

DESIGNED BY: Checked By:
FR FG

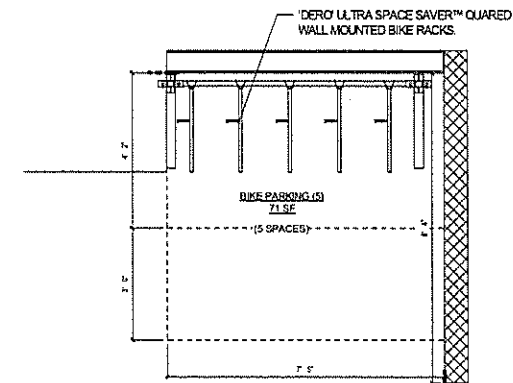
SHEET TITLE:
SITE LIGHTING PLAN

SHEET NO.: PAGE NO.:
PB-050

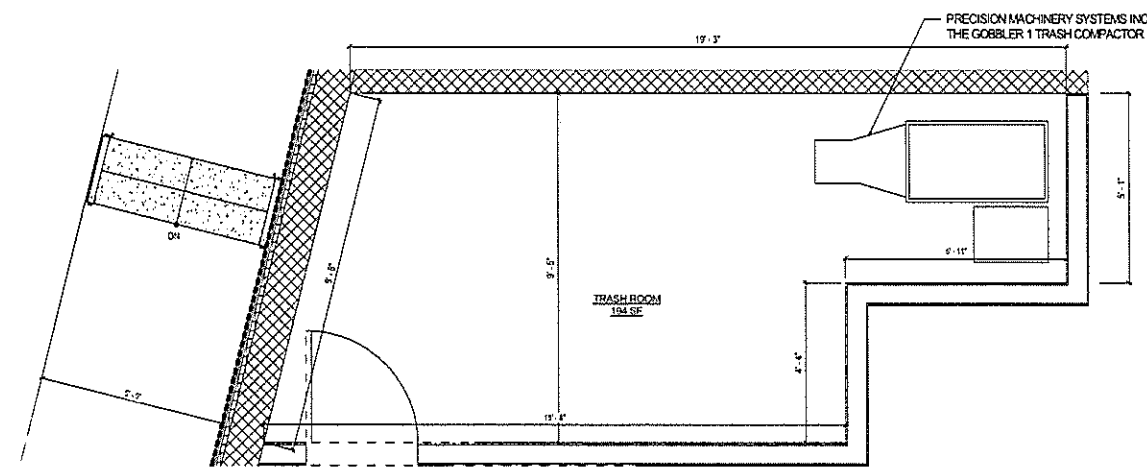
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1 BIKE AND TRASH REMOVAL
3/32" = 1'-0"



2 ENLARGED BIKE PARKING PLAN
1/2" = 1'-0"



3 ENLARGED TRASH ROOM PLAN
1/2" = 1'-0"



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PROJECT:
NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
512-522 SCOTLAND ROAD
CITY OF ORANGE, NJ 07050
BLOCK:5902 LOT:3&4

CLIENT:
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DEVELOPMENT APPLICATION 16 JANUARY 2024

PERMIT SUBMISSION

PROJECT 16 JANUARY 2024

REVISIONS

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT NUMBER: DRAWN BY:

REVISIONS BY: CHECKED BY:

PROJECT TITLE:

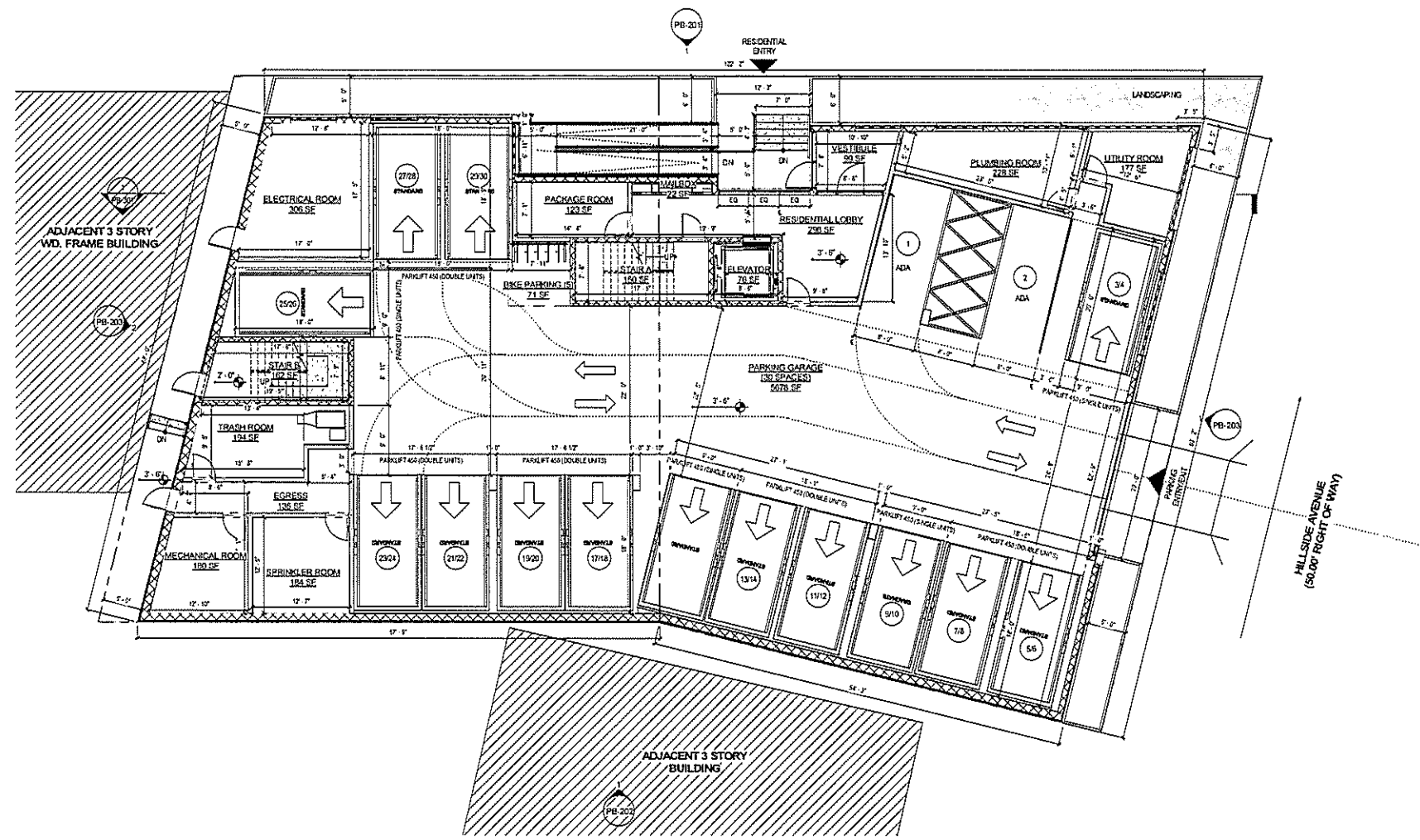
BIKE AND TRASH REMOVAL

SHEET NO.: PAGE NO.:

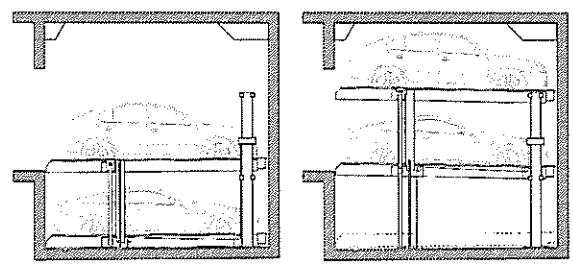
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SCOTLAND ROAD
(49.50' RIGHT OF WAY)



1 GROUND FLOOR PLAN
1/8" = 1'-0"



HARDING STEEL PARKLIFT 450 - STACKED PARKING SPACES WITH PIT

PARKING SCHEDULE	
PARKING SPACE TYPE	SF. COUNT NUMBER
HARDING STEEL PARKLIFT 450 STANDARD 7' X 18' (2)	1440
PARKING SPACE - ADA 8' X 18' (2 ADA VAN)	2
PARKING	
GRAND TOTAL	30



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PROJECT
NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
512-522 SCOTLAND ROAD
CITY OF ORANGE, NJ 07050
BLOCK:5902 LOT:384

CLIENT
CL PROPERTIES

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- X
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DEVELOPMENT APPLICATION: 15 JANUARY 2024
PROJECT SUBMISSION:
PROCESSED: 15 JANUARY 2024

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT NUMBER: DRAWN BY:
18160 AJR

DESIGNED BY: CHECKED BY:
MRG

SHEET TITLE:
GROUND FLOOR PLAN

SHEET NO.: PAGE NO.:

PB-101

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PROJECT:
 NEW CONSTRUCTION
 MULTIFAMILY RESIDENTIAL
 512-522 SCOTLAND ROAD
 CITY OF ORANGE, NJ 07050
 BLOCK:5902 LOT:384

CLIENT:
 CL PROPERTIES

CONSULTANT:
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- X
- X
- X
- X
- X

DEVELOPMENT APPLICATION 16 JANUARY 2024

PERMIT SUBMISSION

PROGRESS: 16 JANUARY 2024

REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT NUMBER: DRAWN BY:
 ADJR

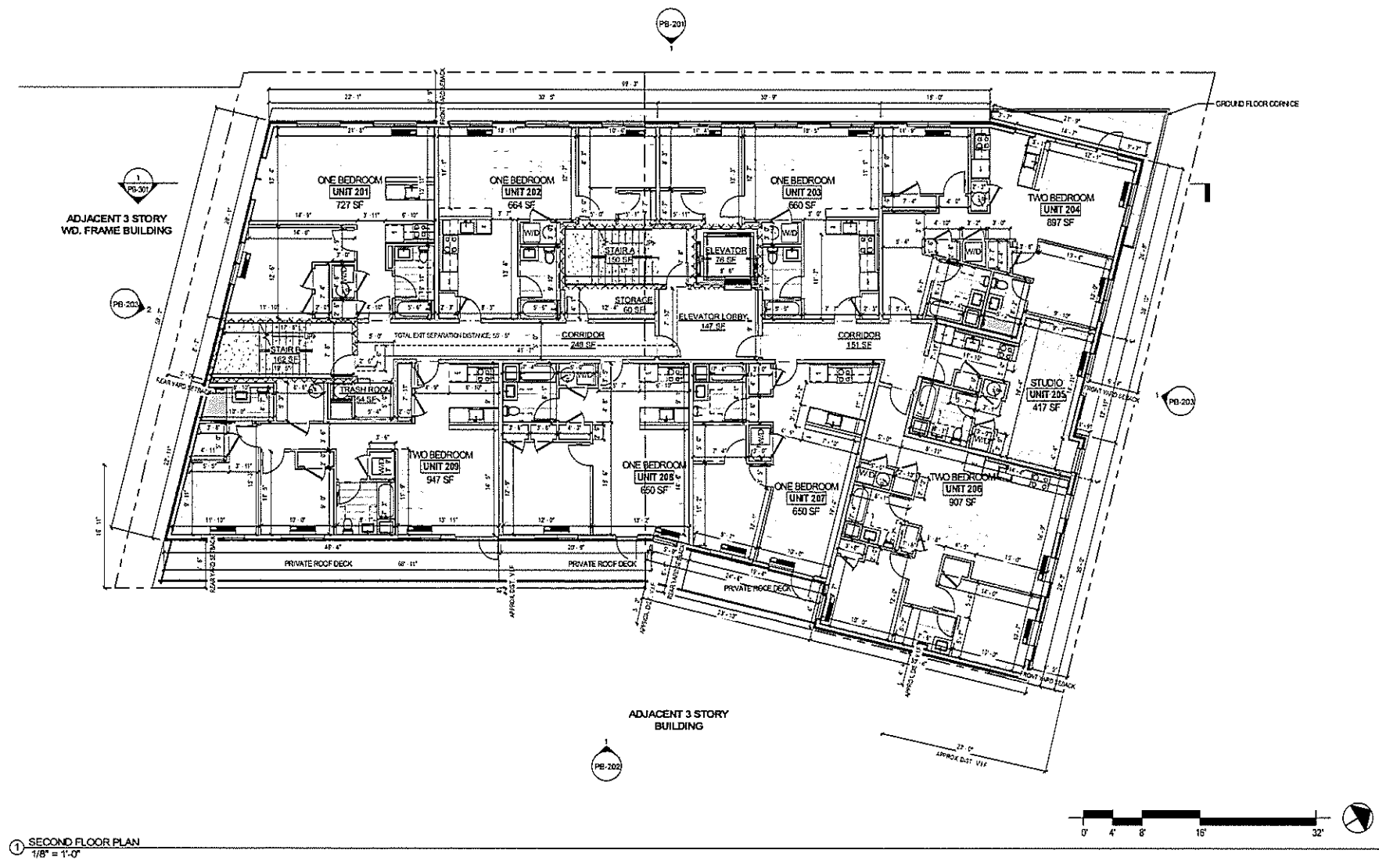
DESIGNED BY: CHECKED BY:
 NR/RC

SHEET TITLE:
 SECOND FLOOR PLAN

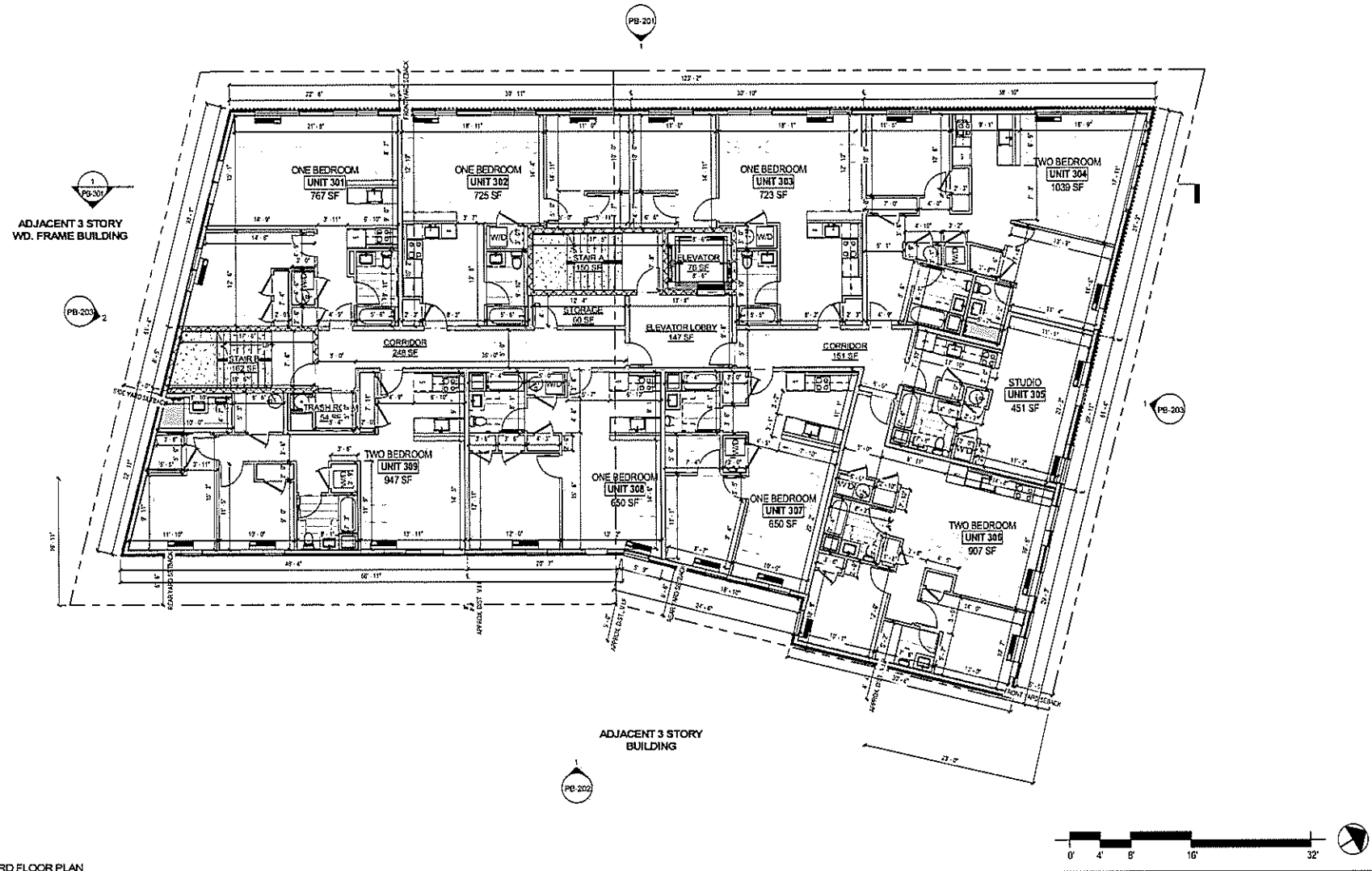
SHEET NO.: PARK NO.:

PB-102

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① SECOND FLOOR PLAN
 1/8" = 1'-0"



① THIRD FLOOR PLAN
1/8" = 1'-0"



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DEVELOPMENT APPLICATION	16 JANUARY 2024
PERMIT SUBMISSION	
PROGRESS	10 JANUARY 2024
REVISIONS	

NO.	DATE	DESCRIPTION

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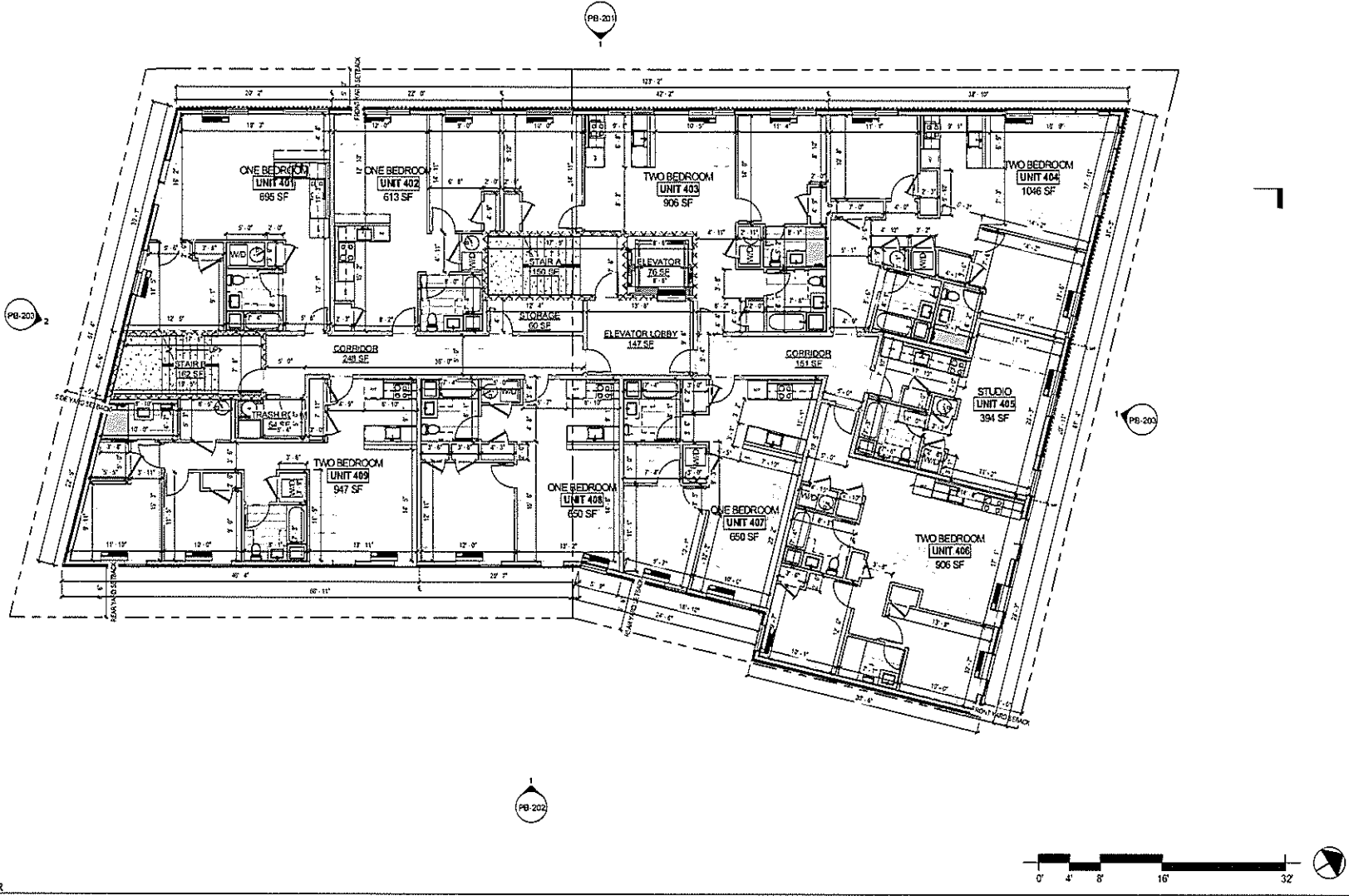
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AUTHOR: [Name]

DESIGNED BY: [Name]
CHECKED BY: [Name]

SHEET TITLE:
THIRD FLOOR PLAN

SHEET NO.:
PB-103

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① FOURTH FLOOR
1/8" = 1'-0"

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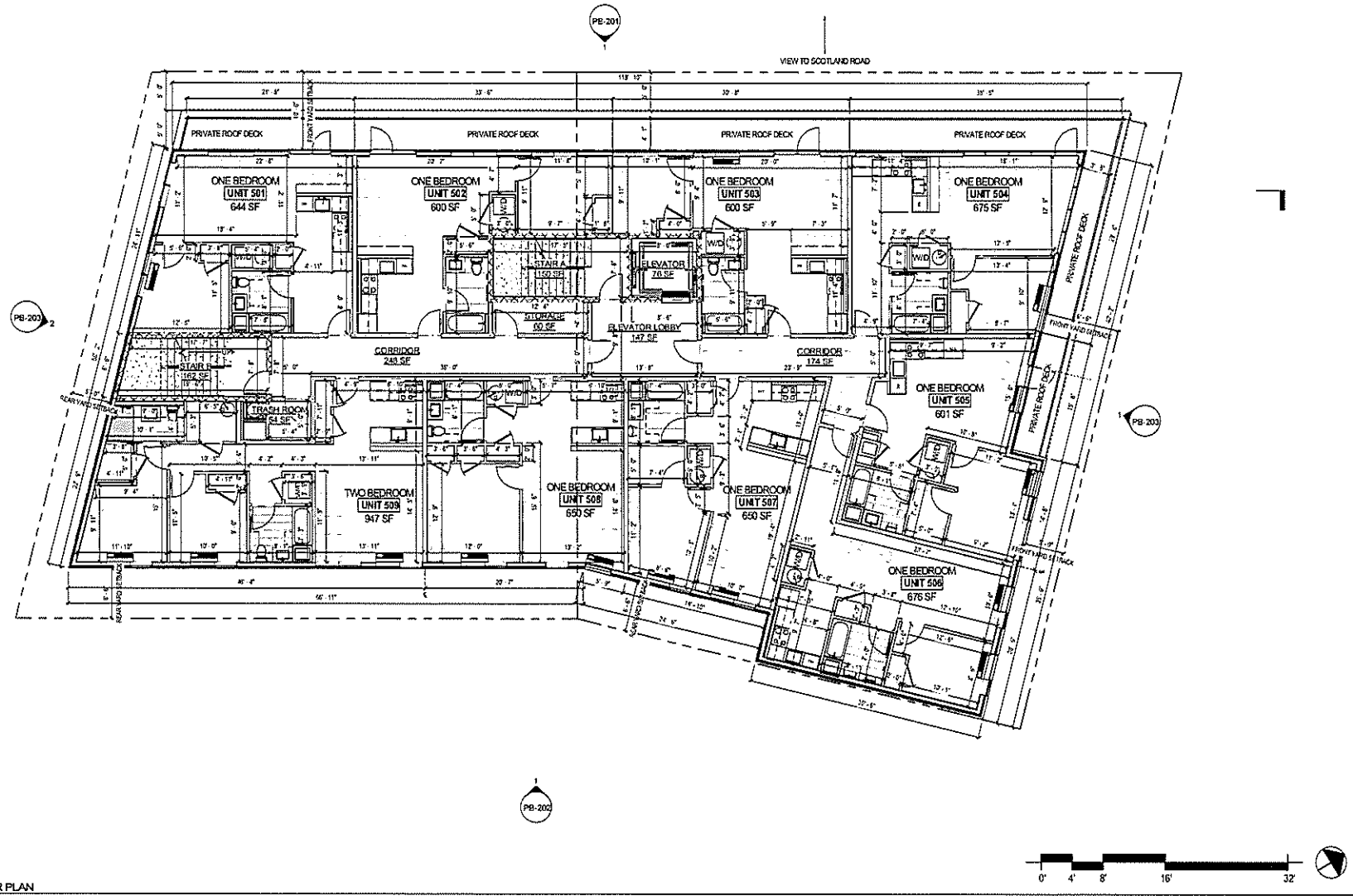
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DEVELOPMENT APPLICATION	16 JANUARY 2024	
PLANNING SUBMISSION		
PROGRESS	16 JANUARY 2024	
REVISIONS		
NO.	DATE	DESCRIPTION

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PROJECT NUMBER	DR. DATE BY
DESIGNED BY	CHECKED BY
RR, RS	
SHEET TITLE	
FOURTH FLOOR PLAN	
SHEET NO.	PAGE NO.
PB-104	

DRAWING BY: 2024/01/16/104
CHECKED BY: 2024/01/16/104
DATE: 2024/01/16/104
PROJECT: 612-522 SCOTLAND ROAD
CITY OF ORANGE, NJ 07050
BLOCK:5902 LOT:3&4
SHEET: PB-104
SCALE: 1/8" = 1'-0"



1 FIFTH FLOOR PLAN
1/8" = 1'-0"



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DEVELOPMENT APPLICATION: 16 JANUARY 2024

PLANT SUBMISSION:

PROJECT NO: 16 JANUARY 2024

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT NUMBER: DRAWING BY:

NR, RS AJDF

DWG CHECKED BY: CHECKED BY:

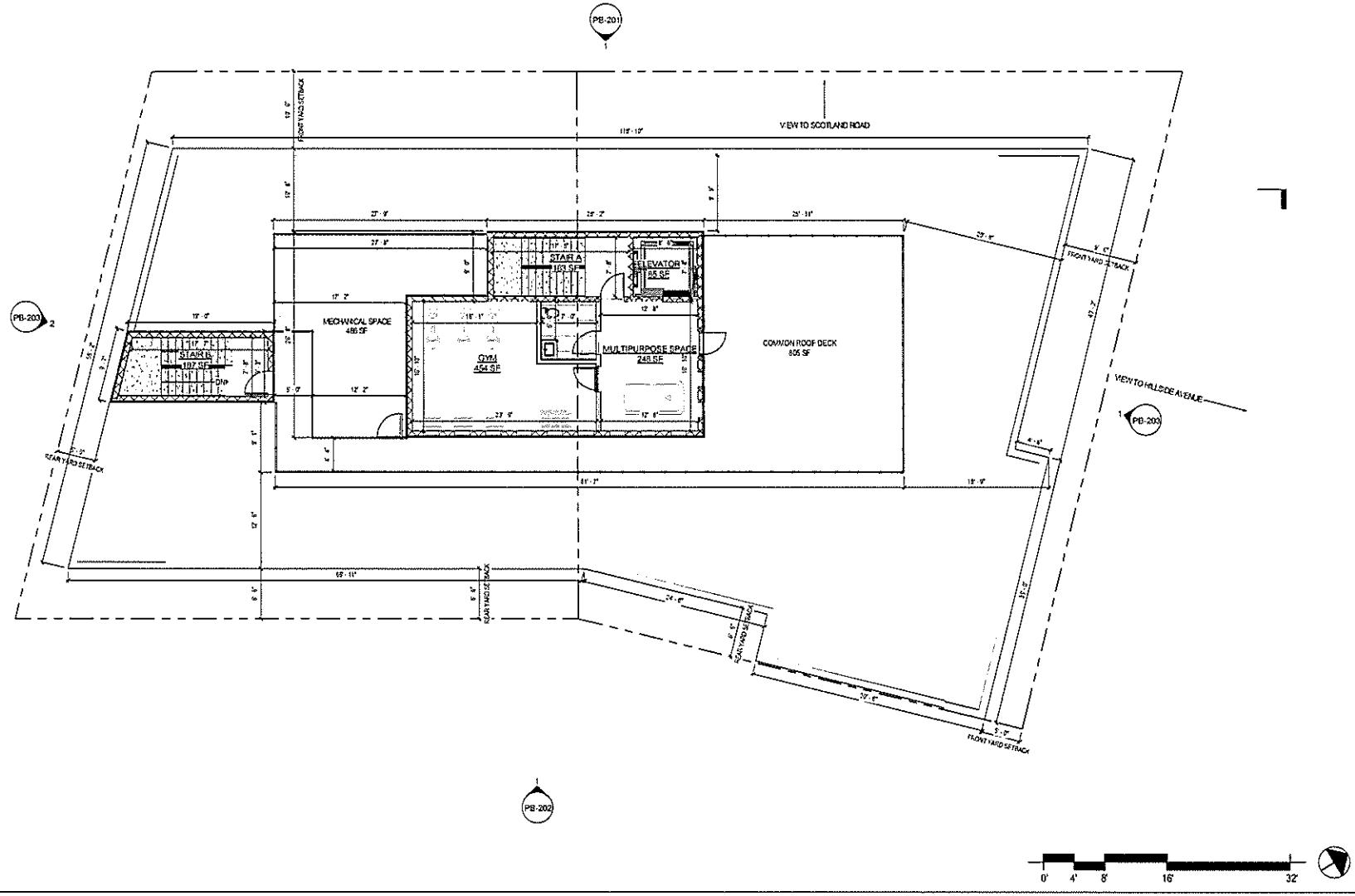
NR, RS NR, RS

SHEET TITLE:
FIFTH FLOOR PLAN

SHEET NO.: PAGE NO.:

PB-105 1

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1 ROOF PLAN
1/8" = 1'-0"



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DEVELOPMENT APPLICATION: 16 JANUARY 2024

PERMIT SUBMISSION

PROCESSED: 16 JANUARY 2024

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PROJECT NUMBER: [blank] DRAWING BY: AJDY

CHECKED BY: RLRS CHECKED BY: [blank]

SHEET TITLE: ROOF PLAN

SHEET NO.: PB-106 PAGE NO.: [blank]

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DEVELOPMENT APPLICATION: 16 JANUARY 2024

PERMIT SUBMISSION

PROJECT: 16 JANUARY 2024

REVISIONS

NO.	DATE	DESCRIPTION

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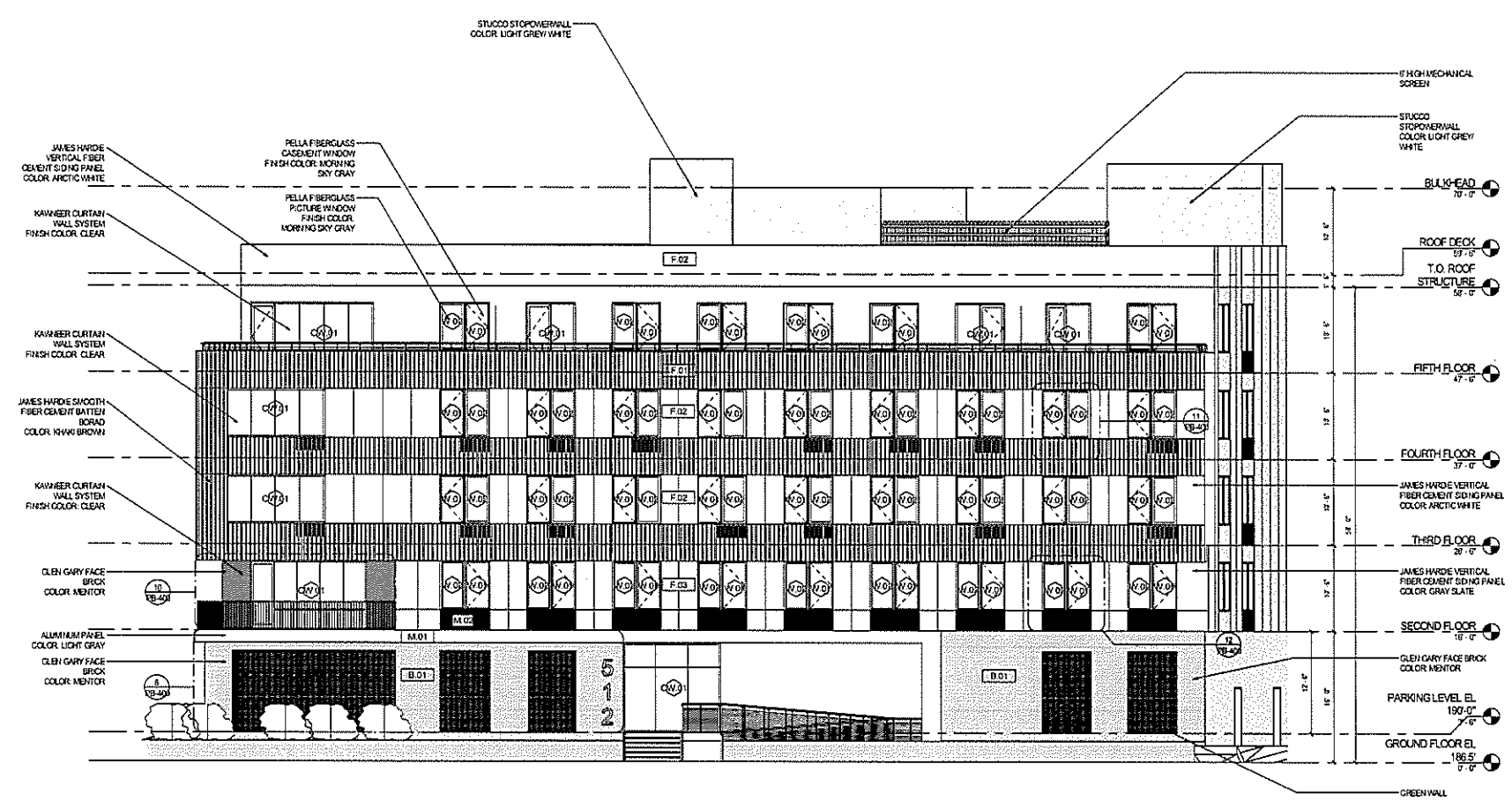
PROJECT NUMBER: DRAWN BY: AJS

DESIGNED BY: NRS CHECKED BY:

SHEET TITLE: SCOTLAND ROAD ELEVATION

SHEET NO.: PAGE NO.:

PB-201



1 SCOTLAND ROAD ELEVATION
 1/8" = 1'-0"

MATERIAL LEGEND

FIBER CEMENT	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	F.01 JAMES HARDIE SMOOTH FIBER CEMENT BATTEN BOARD COLOR: KHAKI BROWN
	F.02 JAMES HARDIE VERTICAL FIBER CEMENT SIDING PANEL COLOR: ARCTIC WHITE

METAL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	F.03 JAMES HARDIE VERTICAL FIBER CEMENT SIDING PANEL COLOR: GRAY SLATE
	F.04 STUCCO VERTICAL SIDING PANEL COLOR: WHITE HOUSE

METAL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	M.01 ALUMINUM PANEL COLOR: LIGHT GRAY
	M.02 METAL GRILL COLOR: LIGHT GRAY

BRICK	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	B.01 GLEN GARRY FACE BRICK COLOR: MENTOR

GREEN WALL	
SAMPLE	DESCRIPTION/ FINISH
	GW.01

CURTAIN WALL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	CW.01 KAWNEER CURTAIN WALL SYSTEM FINISH COLOR: CLEAR

WINDOW	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	W.01 PELLA FIBERGLASS CASEMENT WINDOW FINISH COLOR: MORNING SKY GRAY
	W.02 PELLA FIBERGLASS PICTURE WINDOW FINISH COLOR: MORNING SKY GRAY

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DEVELOPMENT APPLICATION 16 JANUARY 2024

PLANT SUBMISSION

PROJECT 16 JANUARY 2024

REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT NUMBER

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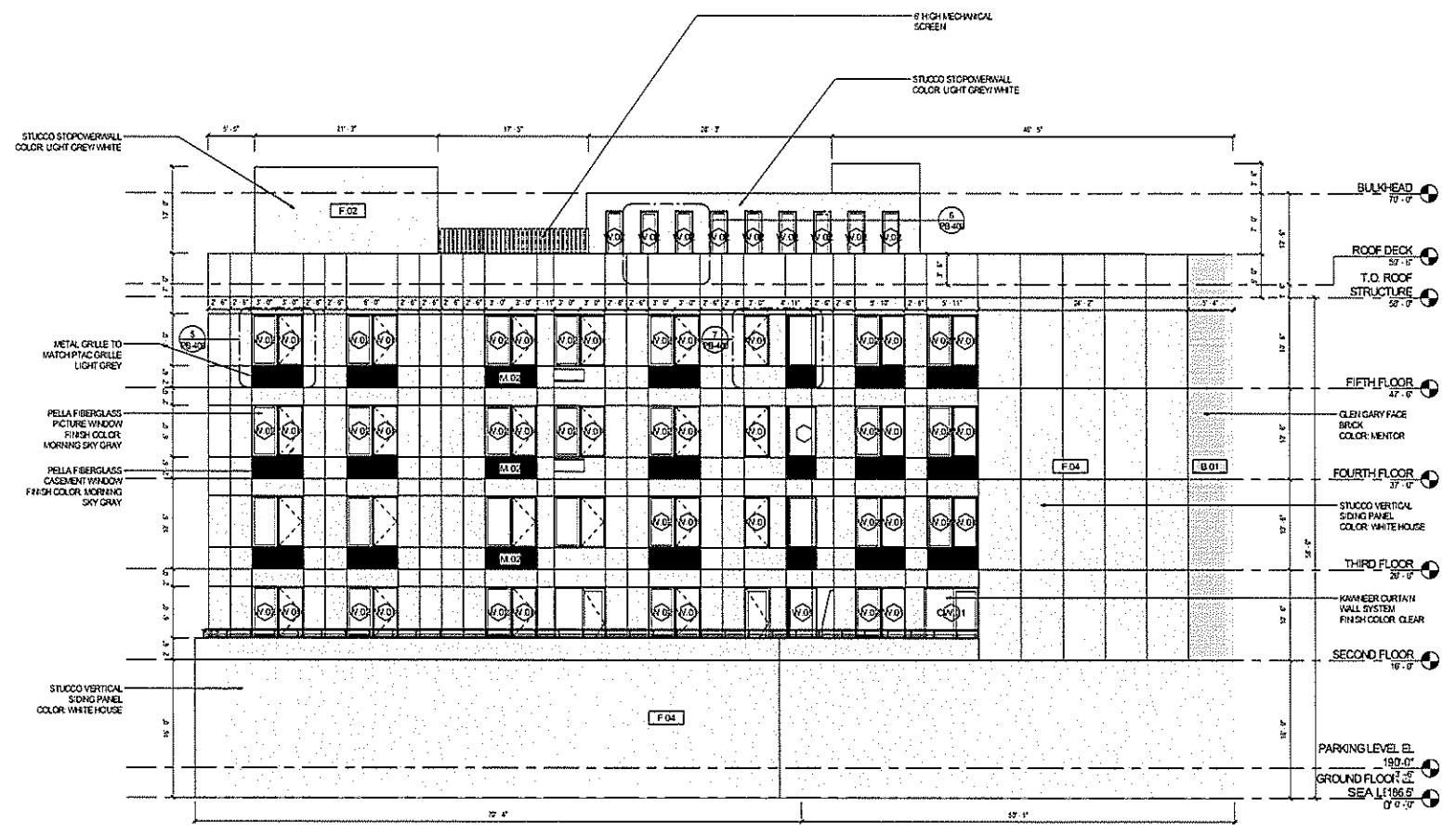
SHEET TITLE

REAR ELEVATION

SHEET NO.

PAGE NO.

PB-202



1 REAR ELEVATION 01
 1/8" = 1'-0"

MATERIAL LEGEND

FIBER CEMENT	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	F.01 JAMES HARDIE DAKOTA FIBER CEMENT BATTERY BOARD COLOR: KHAKI BROWN
	F.02 JAMES HARDIE VERTICAL FIBER CEMENT SIDING PANEL COLOR: ARCTIC WHITE

FIBER CEMENT	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	F.03 JAMES HARDIE VERTICAL FIBER CEMENT SIDING PANEL COLOR: GRAY SLATE
	F.04 STUCCO VERTICAL SIDING PANEL COLOR: WHITE HOUSE

METAL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	M.01 ALUMINUM PANEL COLOR: LIGHT GRAY
	M.02 METAL GRILLE COLOR: LIGHT GRAY

BRICK	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	B.01 CLEAR GARY FACE BRICK COLOR: MENTOR

GREEN WALL	
SAMPLE	DESCRIPTION/ FINISH
	GW.01

CURTAIN WALL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	CW.01 HAMMER CURTAIN WALL SYSTEM FINISH COLOR: CLEAR

WINDOW	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	W.01 PELLA FIBERGLASS CASEMENT WINDOW FINISH COLOR: MORNING SKY GRAY
	W.02 PELLA FIBERGLASS PICTURE WINDOW FINISH COLOR: MORNING SKY GRAY

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SUBMIT
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DEVELOPMENT APPLICATION 16 JANUARY 2024

PERMIT SUBMISSION

PROJECT: 16 JANUARY 2024

REVISIONS

NO.	DATE	DESCRIPTION

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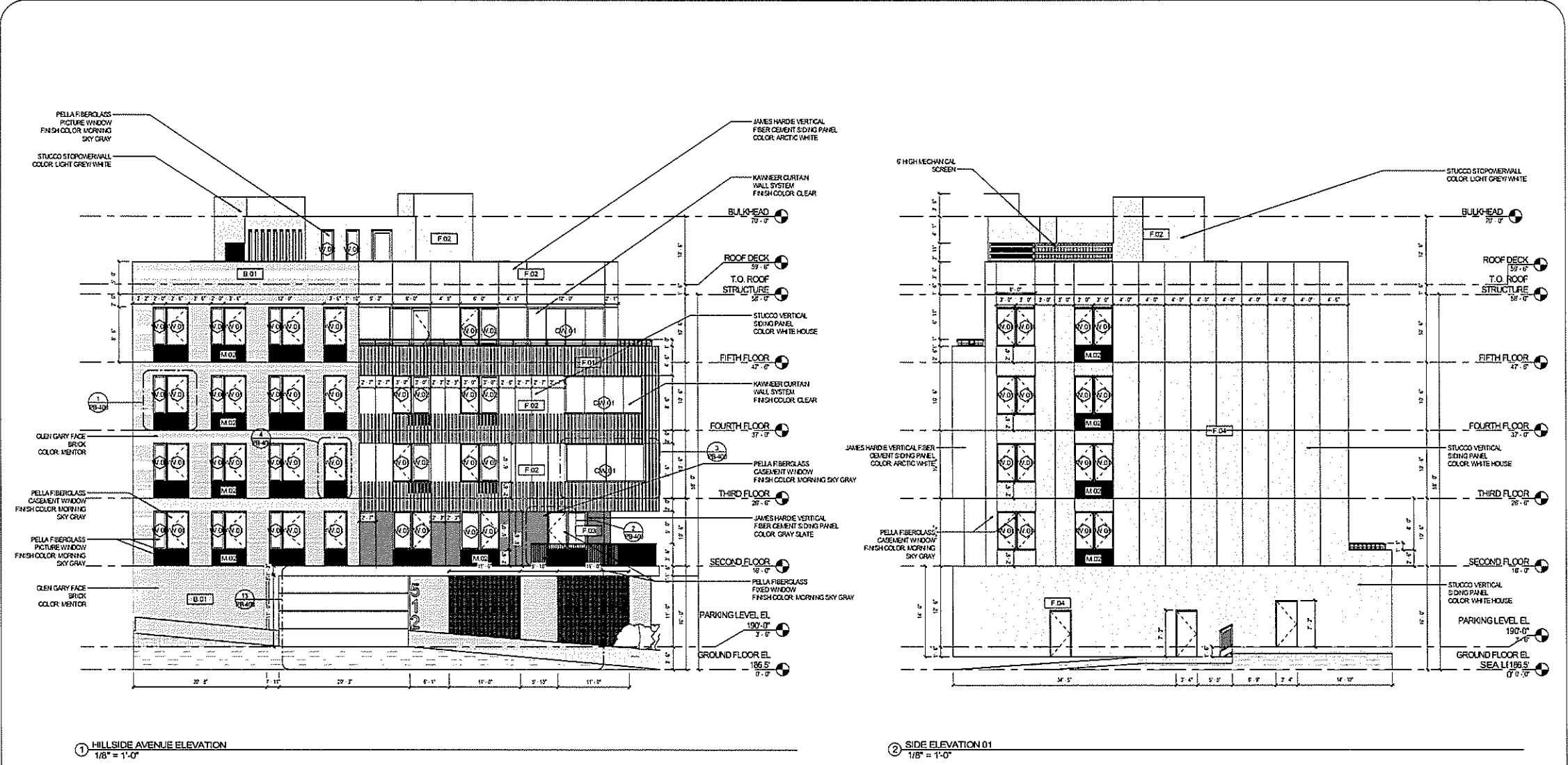
PROJECT NUMBER: DRAWING BY: RLG

DESIGNED BY: CHECKED BY:

SHEET TITLE: HILLSIDE AVENUE ELEVATION

SHEET NO.: PAGE NO.:

PB-203



MATERIAL LEGEND

FIBER CEMENT

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	F.01 JAMES HARDIE SHOOT FIBER CEMENT BATTERY SCRAD COLOR: KHAKI BROWN
	F.02 JAMES HARDIE VERTICAL FIBER CEMENT SIDING PANEL COLOR: ARCTIC WHITE

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	F.03 JAMES HARDIE VERTICAL FIBER CEMENT SIDING PANEL COLOR: GRAY SLATE
	F.04 STUCCO VERTICAL SIDING PANEL COLOR: WHITE HOUSE

METAL

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	M.01 ALUMINUM PANEL COLOR: LIGHT GRAY
	M.02 METAL GRILL COLOR: LIGHT GRAY

BRICK

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	B.01 GLEN GARY FACE BRICK COLOR: MENTOR

GREEN WALL

SAMPLE	DESCRIPTION/ FINISH
	G.W.01

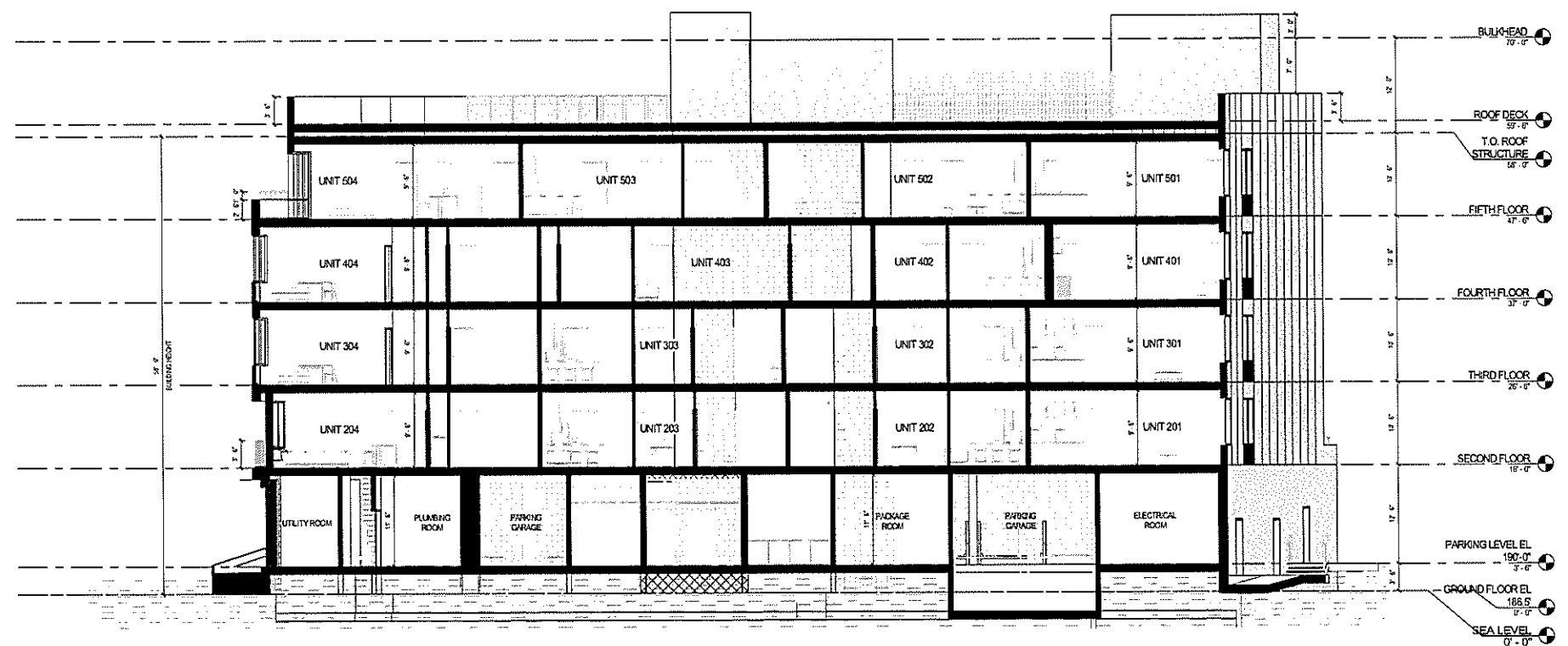
CURTAIN WALL

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	C.W.01 KAWNEER CURTAIN WALL SYSTEM FINISH COLOR: CLEAR

WINDOW

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	W.01 PELLA FIBERGLASS CASSEMENT WINDOW FINISH COLOR: MORNING SKY GRAY
	W.02 PELLA FIBERGLASS PICTURE WINDOW FINISH COLOR: MORNING SKY GRAY

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SECTION 01
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DEVELOPMENT APPLICATION: 16 JANUARY 2024		
PLANNING SUBMISSIONS		
PROJECT NO: 16 JANUARY 2024		
REVISIONS		
NO.	DATE	DESCRIPTION

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PROJECT NUMBER: DRAWN BY:
161 RD Autor

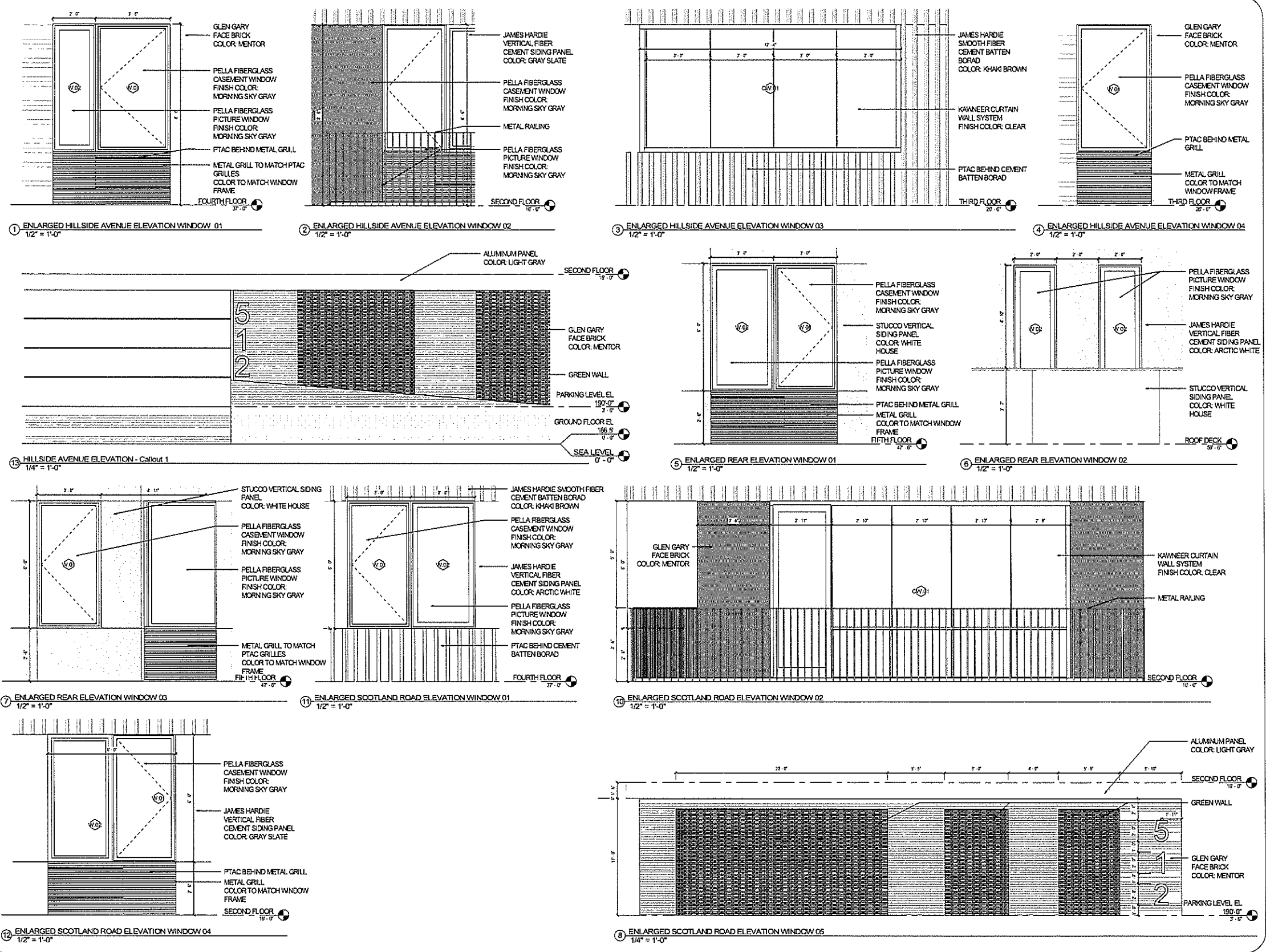
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SHEET TITLE:
SECTION 01

SHEET NO.: PAGE NO.:

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Development Application: 16 JANUARY 2024

Project Submission

Processed: 16 JANUARY 2024

No.	DATE	DESCRIPTION

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PROJECT NUMBER: Drawn By: Author

DESIGNED BY: 181 RG Checked By:

SHEET TITLE:
 ENLARGED EXTERIOR ELEVATIONS

SHEET NO.: PAGE NO.:

PB-400

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DEVELOPMENT APPLICATION: 16 JANUARY 2024

PERMIT EXPIRES: 16 JANUARY 2024

REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT NUMBER: _____ DRAWN BY: Author

DESIGNED BY: MR, RD CHECKED BY: _____

SHEET TITLE: STREET VIEW

SHEET NO: PB-903 PANE NO: _____

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DEVELOPMENT APPLICATION: 18 JANUARY 2024

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PROGRESS: 18 JANUARY 2024

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PROJECT NUMBER: DRAWN BY: ALBY

DESIGNED BY: MLR CHECKED BY:

SHEET TITLE: STREET VIEW

SHEET NO.: PAGE NO.:

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