



CITY OF ORANGE HISTORIC PRESERVATION COMMISSION

ORANGE CITY HALL

29 North Day Street, Orange, New Jersey 07050

PHONE (973) 952-6344 FAX (973) 672-6643

**CITY OF ORANGE PRESERVATION COMMISSION
APPLICATION FOR CERTIFICATION OF APPROPRIATENESS**

DATE RECEIVED _____ APPLICATION # _____

APPLICANT(S): _____
Name of Applicant(s): Scotland Ventures LLC

Address: 5308 13th Ave #197 Brooklyn, NY 11219 Email: solomon@qlproperties.com

Telephone (Day) (718)930-7768 (Eve) (718)930-7768 (Fax) _____

Relationship of Applicant to Property owner:
 Owner(s) Lessee Property Under Contract Other (Specify)

Explanation if Other: _____

OWNER(S), IF DIFFERENT THAN APPLICANT:

Name(s) of Owner(s): Patrick Adams, Romanus Ihuoma, Franklin & Robert Caputo, Clarence Drewey

Address: 611-617 Scotland Street and 517-519 Beach Street Email: _____

Telephone Number: (Day) _____ (Eve) _____

Street Address of the Property that is subject of Application: 611-617 Scotland Street and
517-519 Beach Street

Tax Block: 6105 Lot: 2, 3, 4 and 5

Name of Historic District in which Property lies: _____
 Orange Valley Montrose Seven Oaks Park Main Street St. John's

Existing use of the Property: _____
Family Dollar Tree store, residential detached dwellings and a laundromat

Existing zoning of the Property: _____
Central Valley Redevelopment Plan District 4. Mid-rise multifamily apartments up to 8 stories high are permitted.

Describe in detail the proposed work to be done at the Property.

The applicant proposes to demolish the existing residential and commercial buildings on the site and construct a new 6-story, multifamily dwelling, with seventy-eight (78) residential units over basement and first floor parking for 57 vehicles.

Explain how you plan to prevent, minimize and mitigate any adverse effects to this Property, to nearby historically significant properties, and to the Historic District?

The site is situated in the Central Valley Redevelopment Plan, District 4 and the proposed development meets all the bulk and design requirements contained in same. The proposed project will conform with the character of the neighborhood.

Each Application must be accompanied by sketches, drawings, photographs, descriptions or other information sufficient to show the proposed alterations, additions, changes or new construction. The Commission may require the subsequent submission of such additional materials as it reasonably requires to make an informed decision. A submission shall include:

- A photograph of each elevation of the structure.
- Three (3) copies of drawings, photographs, material brochures, samples, specifications or information that may be necessary to assist the Commission. Copies may be submitted electronically, or by CD or flash drive.
- Three (3) copies of a survey, or if applicable, a site plan showing the location of new and existing structures on the site and their location with respect to the building line, property line, and the front of those buildings or structures immediately adjacent to each side of the lot to be built upon.
- Three (3) copies of facade elevation(s), if applicable, of the proposed work in sufficient detail to identify the limits and location of the proposed work, and existing and proposed materials to be used.
- \$70.00 Application fee (check or money order made to the City of Orange).

By signing this Application, I hereby certify that the owner of record authorizes the proposed work and I have been authorized by the owner to make this Application as his/her authorized agent. By signing this Application, the owner hereby grants authorization to the Commission members, and its professional and support staff to enter the Property in question for inspection purposes. By signing this application I further agree that the attorney's and professional staff's review of my application is chargeable to me and that I agree to pay for such review separately from the application fee, by depositing an escrow payment of \$ 70.00.

Signature of Applicant(s) _____

(Print Name) Scotland Ventures LLC

Date 2/29/2024

Signature of Owner(s) (if different than Applicant) Please see attached.

(Print Name) Solker, Colm

Date 2/29/2024

Submittal of this Application form-properly signed, with the indicated copies of documents and the Application fee will constitute a complete Application. Upon receipt of a complete Application, the Board Secretary will schedule the Application with the Commission. The Applicant delays his/her own Application if all of these required items are not submitted. The Commission shall reach a decision on the Application within forty-five (45) days of submission of a complete Application. The Applicant must appear in front of the Commission in order to present the Application during the public hearing on the scheduled date.

Telephone: _____ Fax: _____ Website: _____

Date payment received: _____ Check Number: _____

Date sent to Finance: _____ Receipt Number: _____

Certification of Appropriateness Application Form Adopted 10/21/15, revised 10/6/22.



A TRADITION OF LEGAL EXCELLENCE SINCE 1938

Connell Foley LLP
One Newark Center
1085 Raymond Boulevard, 19th Floor
Newark, NJ 07102
P 973.436.5800 F 973.436.5801

Rebecca Malortello
Associate
RMalortello@connellfoley.com

March 1, 2024

VIA ELECTRONIC MAIL AND HAND DELIVERY

Joyce Lanier
City of Orange Historic Preservation Commission
29 North Day Street
Orange, New Jersey 07050
JLanier@orangeni.gov

Re: **Scotland Ventures LLC
611-617 Scotland Street and 517-519 Beach Street**

Dear Ms. Lanier:

This firm represents Scotland Ventures LLC (the "Applicant") in connection with an application for preliminary site plan approval to construct a new six (6)-story seventy-eight (78) unit multifamily residential building on the properties located at 611-617 Scotland Street and 517-519 Beach Street, Orange, New Jersey (the "Property"), which is currently pending before the Planning Board of the City of Orange (the "Application").

In connection therewith, the Applicant submits the following documentation to seek necessary approvals from the City of Orange Historic Preservation Commission:

1. An executed City of Orange Historic Preservation Commission Application for Certification of Appropriateness;
2. An executed Affidavit of Consent from the Property owner;
3. A check in the amount of \$70.00;
4. Three (3) sets of photographs of the Property;
5. Three (3) sets of civil site plans prepared by Adnan A. Khan, P.E., C.M.E. of AWZ Engineering, Inc. dated November 11, 2022;
6. Three (3) sets of architectural plans prepared by Dennis M. Devino, R.A. of Devino Aiello and Associates dated November 10, 2022; and
7. Three (3) sets of a topographic location survey map prepared by Rodolfo Pierri P.L.S. of V4 Land Surveying PLLC dated November 10, 2021.

Thank you for your courtesies in this regard. Should you have any questions or concerns, please do not hesitate to contact me.

Very truly yours,

Rebecca Maioriello

Rebecca Maioriello, Esq.



A TRADITION OF LEGAL EXPERIENCE SINCE 1938

Connell Foley LLP
One Newark Center
1085 Raymond Boulevard, 19th Floor
Newark, NJ 07102
P 973.436.5800 F 973.436.5801

RECEIVED Rebecca Maioriello
ORANGE CITY CLERK'S OFFICE Associate
R.Maioriello@connellfoley.com
2024 MAR - 1 P 1: 55

March 1, 2024

VIA ELECTRONIC MAIL AND HAND DELIVERY

Joyce Lanier
City of Orange Historic Preservation Commission
29 North Day Street
Orange, New Jersey 07050
JLanier@orangenj.gov

Re: **Scotland Ventures LLC**
611-617 Scotland Street and 517-519 Beach Street

Dear Ms. Lanier:

This firm represents Scotland Ventures LLC (the "Applicant") in connection with an application for preliminary site plan approval to construct a new six (6)-story seventy-eight (78) unit multifamily residential building on the properties located at 611-617 Scotland Street and 517-519 Beach Street, Orange, New Jersey (the "Property"), which is currently pending before the Planning Board of the City of Orange (the "Application").

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1. An executed City of Orange Historic Preservation Commission Application for Certification of Appropriateness;
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6. Three (3) sets of architectural plans prepared by Dennis M. Devino, R.A. of Devino Aiello and Associates dated November 10, 2022; and
7. Three (3) sets of a topographic location survey map prepared by Rodolfo Pierri P.L.S. of V4 Land Surveying PLLC dated November 10, 2021.

OWNER CONSENT

I Patrick Adams hereby certify that I am the owner in fee of all that certain lot, piece of parcel of land situated at 611 Scotland Road, Orange, New Jersey 07050, in the County of Essex, known as Block 6105, Lot 2. I hereby authorize and consent to the submission of this application to the Planning Board by Applicant.

Patrick Adams

Owner's Signature

13th July 2022

Date

OWNER CONSENT

I Kenneth C. Lewis hereby certify that I am the owner in fee of all that certain lot, piece of parcel of land situated at 613 Scotland Road, Orange, New Jersey 07050, in the County of Essex, known as Block 6105, Lot 3. I hereby authorize and consent to the submission of this application to the Planning Board by Applicant.

Kenneth C. Lewis


Owner's Signature

05/27/2022

Date

OWNER CONSENT

We, Franklin Caputo and Robert Caputo, hereby certify that we are the owners in fee of all that certain lot, piece of parcel of land situated at 617 Scotland Road, Orange New Jersey 07050, in the County of Essex, known as Block 605, Lot 3. We hereby authorize and consent to the submission of this application to the Planning Board by Applicant.


Franklin Caputo


Robert Caputo

Dated: June 23, 2022

OWNER CONSENT

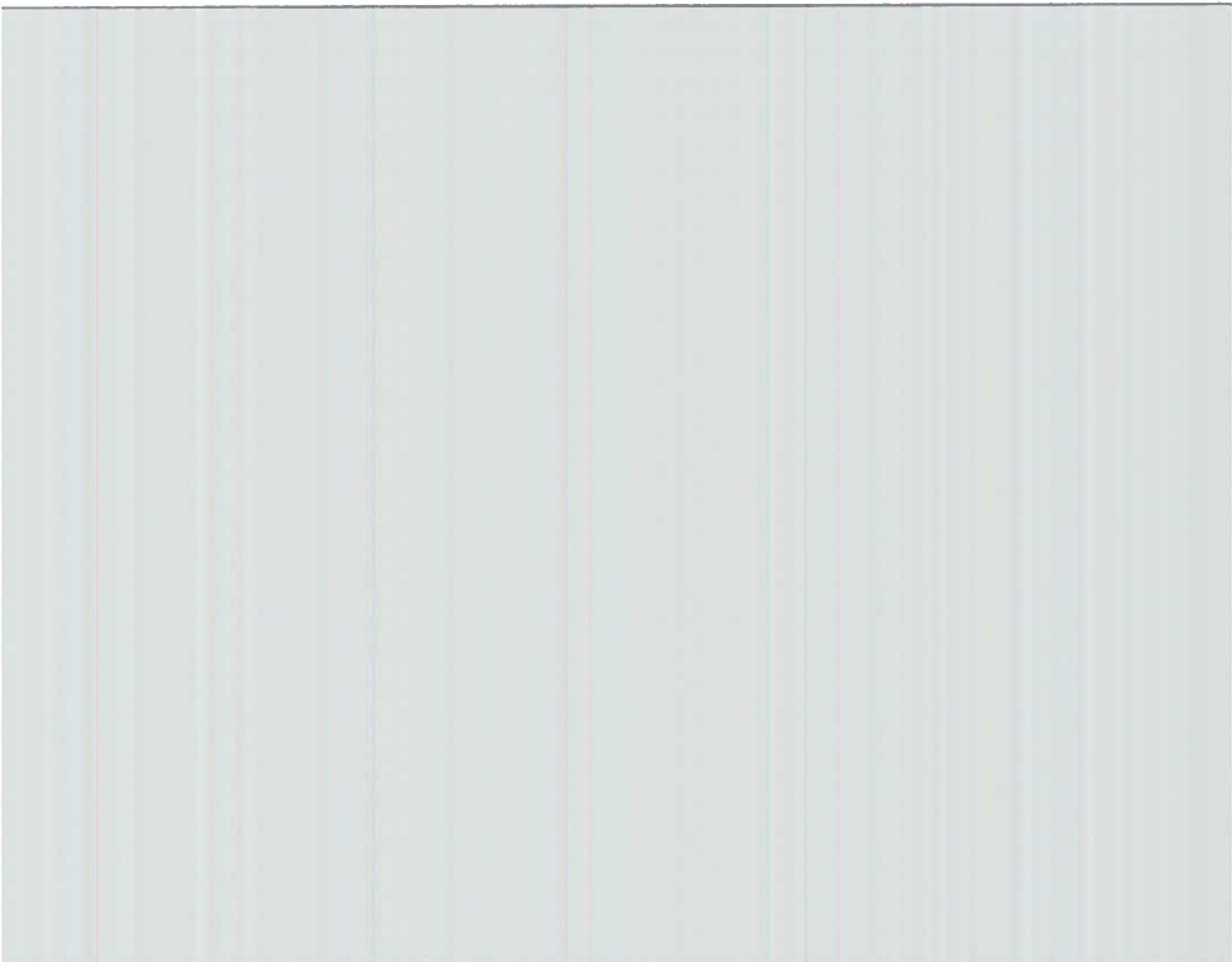
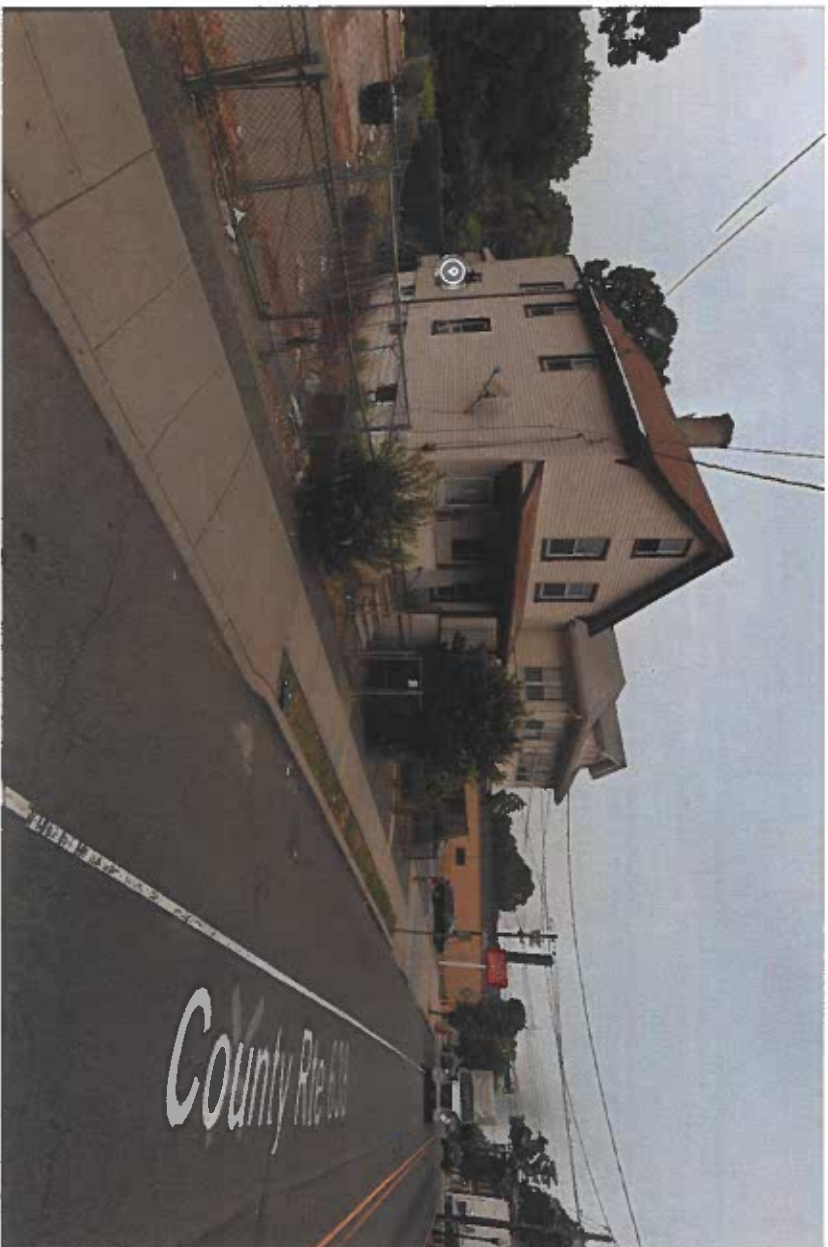
I CAROLINE M. DREXEL hereby certify that I am the owner in fee of all that certain lot, piece of parcel of land situated at 519 Beach Street, Orange, New Jersey 07050, in the County of Essex, known as Block 6105, Lot 5. I hereby authorize and consent to the submission of this application to the Planning Board by Applicant.

Caroline M. Drexel

Owner's Signature

6/16/22

Date









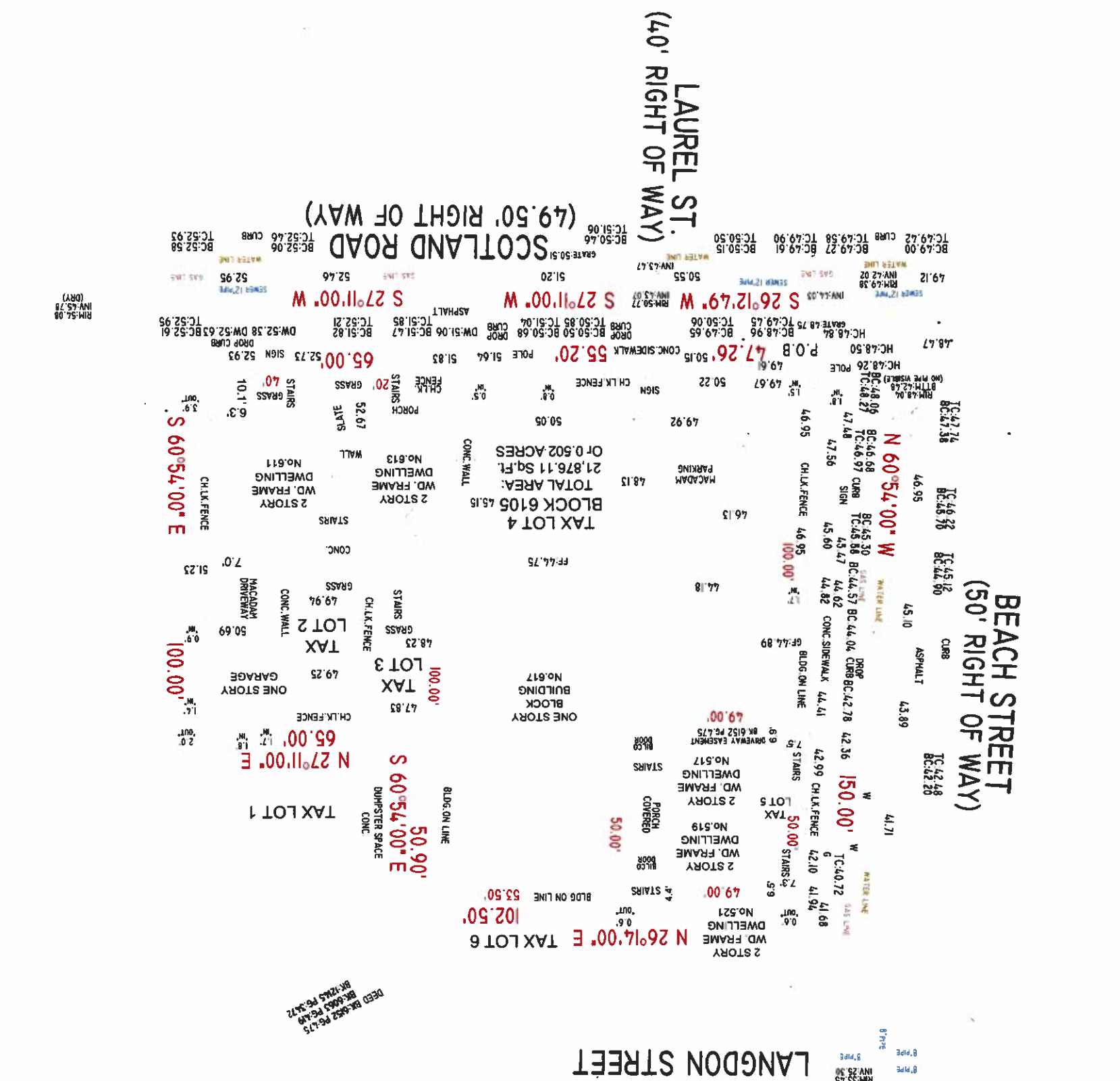
SURVEYORS NOTES:
 EXCEPT AS SPECIFICALLY STATED OR SHOWN ON HIS PLAN, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE OR ON RECORD AT THE TIME OF THE MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 -DECLARATION IS VALID ONLY IF PRINT HAS ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 -SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
 -SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY.
 -SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 -WETLANDS LOCATION ARE NOT CONSIDERED PART OF CONTRACTUAL OBLIGATIONS OR PART OF THIS SURVEY.
 -FLOOD PLAIN MAPS WERE NOT REVIEWED OR CONSIDERED PART OF THIS SURVEY.

NOTES:
 THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 THIS SURVEY IS SUBJECT TO ANY FACTS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
 FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14 (45:8-36.3) AND N.J.A.C. 13:40-5.1 (d)
 CHECKED BY: DRAWN BY:
RON P. T.D.
RODOLFO PIERRI
P.L.S.
 DATE OF SIGNATURE 11 / 15 / 2021
 N.J. LAND SURVEYOR
 LICENSE NO. 24593860600
 SCALE: 1"=30'
 DATE OF SURVEY 11 / 10 / 2021
 DRAWING NO.: V4 2021-360
 SHEET NO.: 1/1
 V4 LAND SURVEYING PLLC
 HOBOKEN, NEW JERSEY 07030
 CERTIFICATION TO: 611 SCOTLAND LLC
 (PHONE) 201-628-1958



**TOPOGRAPHIC LOCATION SURVEY MAP
 OF PROPERTY LOCATED AT
 611 - 617 SCOTLAND ROAD
 517 - 519 BEACH STREET
 ESSEX COUNTY, NEW JERSEY
 BLOCK 6105, TAX LOTS 2,3,4 AND 5**

- LEGEND**
- HYDRANT
 - GAS VALVE
 - UTILITY POLE
 - SANITARY SEWER MANHOLE
 - SIGN
 - STREET LIGHT (METAL POLE)
 - GAS LINE
 - WATER LINE
 - SEWER LINE
 - OVERHANG LINE
 - GAS MARK OUT
 - SPOT GRADE
 - 0.00 x
 - TC 0.00 x
 - TOP OF CURB
 - 0.00 x
 - BC 0.00 x
 - BOTTOM OF CURB
 - TOP OF WALL
 - 0.00 x
 - BW 0.00 x
 - BOTTOM OF WALL
 - FF 0.00 x
 - FINISH FLOOR
 - EXIST. CONTOUR
 - 00
- ELEVATIONS ARE BASED ON ASSUMED DATUM
 CONTOUR INTERVAL EQUALS 1 FOOT.
 ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN.




DEED BK-9652 PG-475
 BK-1245 PG-3472

DA+A

DEVINO AIELLO AND ASSOCIATES
Design and Architecture Group

430 Communipark Ave, 3rd Floor
Jersey City, NJ 07310
Tel: 201-306-0559
Fax: 201-306-0579
www.devinoaielloandassociates.com

Dennis M. Devino, P.A.


NY LIC. 0401401 / NY LIC. 315661
NJ LIC. 12441 / NJ LIC. ARCHITECT
MD LIC. 19441 / DC LIC. ARCHITECT

Antonio Aiello, R.A.


NY LIC. 0401394 / NY LIC. 315659

CONSULTANTS

**617 SCOTLAND ROAD
ORANGE, NJ 07050
BLOCK: 6105
LOTS: 2, 3, 4 +5
SIX STORY MIXED-USE,
MULTI-FAMILY BUILDING
78 DWELLING UNITS
58 PARKING SPACES**

CLIENT:
SCOTLAND VENTURES LLC
5368 137th AVENUE
BROOKLYN, NY 11219

ADDRESS:
811-817 SCOTLAND ROAD
517-518 BEACH STREET
ORANGE TOWNSHIP, NJ 07050
BLOCK: 6105, LOTS: 2, 3, 4 & 5

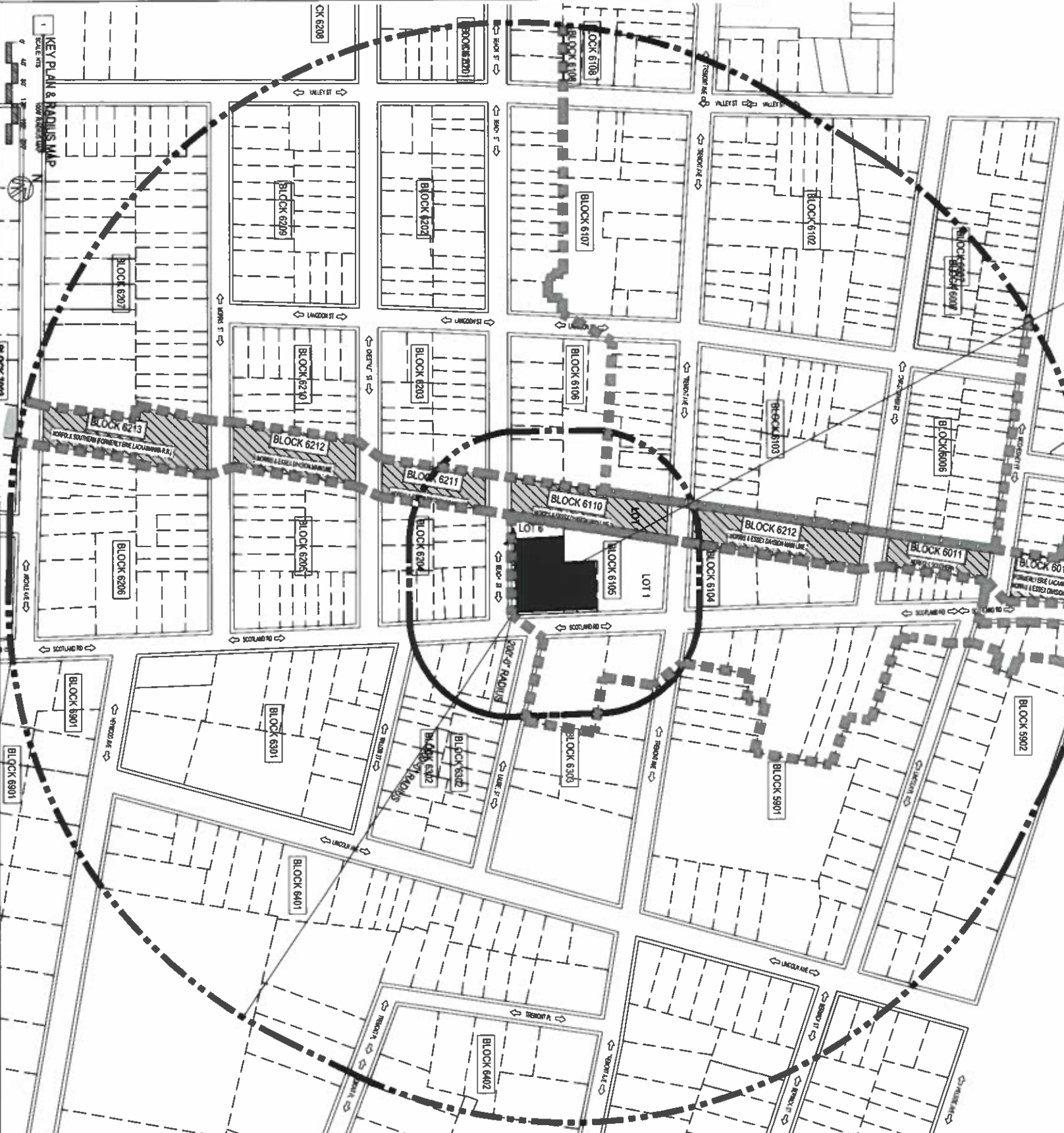
ISSUE	DATE	NOTES
01	12/08/18	CONTRACTOR REVIEW SUBMISSION
02	12/27/21	MANUAL SUBMISSION
03	12/11/19	MANUAL SUBMISSION

REVISION:	DATE	NOTES

PROJECT No. _____
DRAWN BY: _____
CHECKED BY: AA
COMPONENT: DEVINO AIELLO ASSOCIATES
SHEET TITLE

OVER SHEET
CS-000

SITE LOCATION
617 SCOTLAND ROAD



APPROVED FOR CONSTRUCTION	TITLE	EGG/LLA
OWNER: 617 SCOTLAND ROAD 617 SCOTLAND ROAD NEW YORK, NY 10750	COMMISSION PLAN	
PROJECT: 2.1.1.5 VALLEY REDEVELOPMENT PLAN	SECRETARY	
SCALE: AS SHOWN ON P-7	APPROVING OFFICE	



EXISTING STREET VIEW



SITE LOCATION
CENTRAL VALLEY REDEVELOPMENT PLAN
DISTRICT 4

DA+A
DEVINO AIELLO AND ASSOCIATES
Design and Architecture Group

430 Connecticut Ave., 3rd floor
Jersey City, NJ 07304
tel: 201-340-0569
fax: 201-340-0579
www.devinoaiello.com

Dennis M. Devino, P.A.
P.L.L.C. 200 East 19th Street
New York, NY 10003
P.L.L.C. 200 East 19th Street
New York, NY 10003

Antonio Aiello, P.A.
P.L.L.C. 200 East 19th Street
New York, NY 10003

CLIENT

SCOTLAND VENTURES LLC
5388 131st AVENUE
BROOKLYN, NY 11219

ADDRESS:

617-619 SCOTLAND ROAD
ORANGE TOWNSHIP, NEW JERSEY
BLOCK 6105, LOT 2.1.1.5

ISSUE:

NO.	DATE	NOTES
01	12.18.19	PERMITS REVIEW SUBMISSION
02	12.27.19	CONCEPT SUBMISSION
03	12.11.19	CONCEPT SUBMISSION

REVISION:

NO.	DATE	NOTES

PROJECT NO.:

DRAWN BY: JA

CHECKED BY: JA

COMPONENT: 6 DEVINO AIELLO ARCHITECTS

SHEET TITLE:

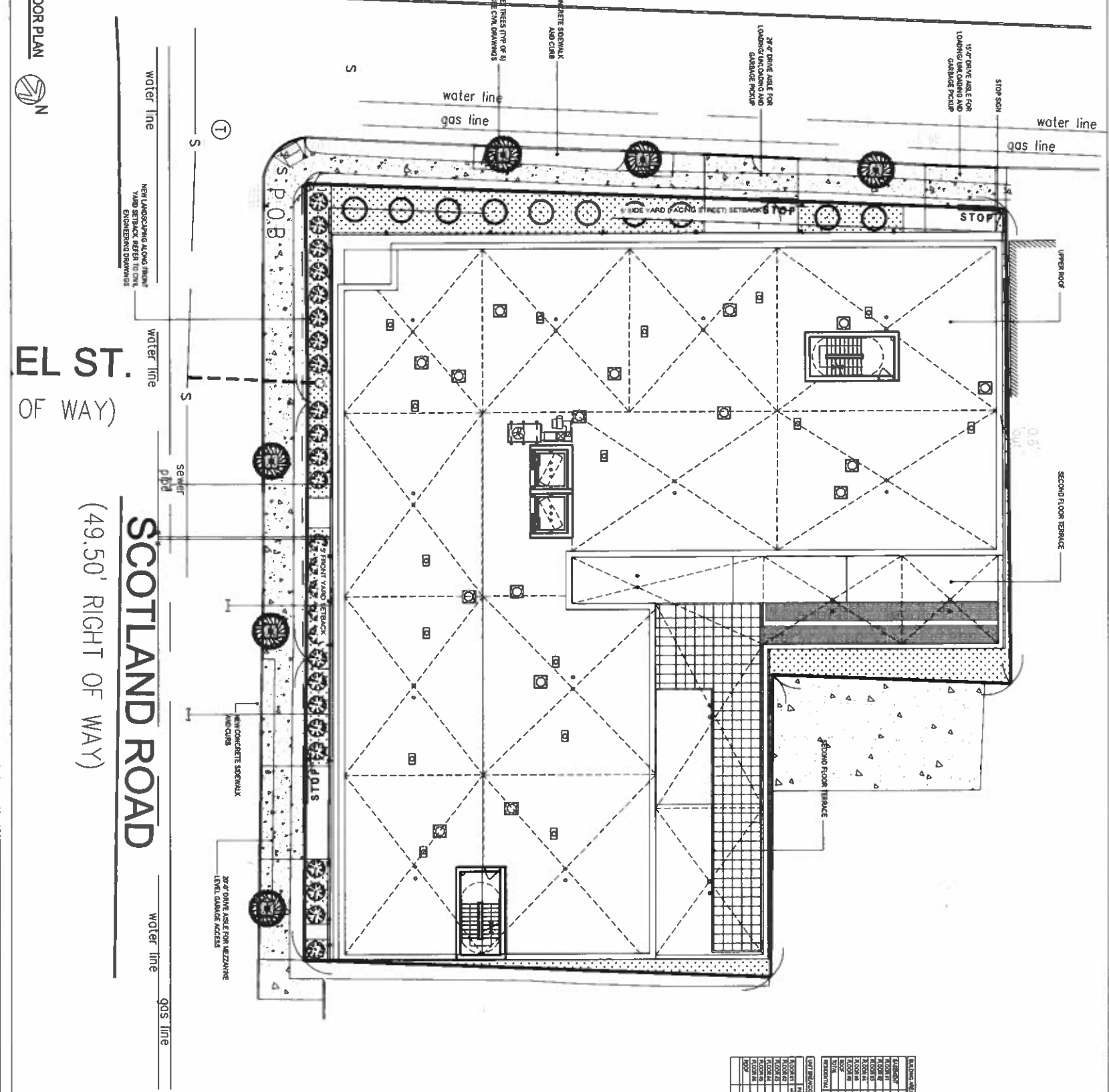
TITLE SHEET AND BUILDING LOCATION AND GENERAL INFORMATION

T-0000

BEACH STREET

(50' RIGHT OF WAY)

1 **BASEMENT FLOOR PLAN**
SCALE 1/8" = 1'-0"



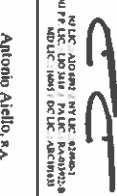
NO.	DATE	DESCRIPTION	BY	CHKD.
1	12.15.18	ISSUED FOR PERMITS	DA	DA
2	12.15.18	REVISION 1: CHANGES TO FINISHES	DA	DA
3	12.15.18	REVISION 2: CHANGES TO FINISHES	DA	DA
4	12.15.18	REVISION 3: CHANGES TO FINISHES	DA	DA
5	12.15.18	REVISION 4: CHANGES TO FINISHES	DA	DA
6	12.15.18	REVISION 5: CHANGES TO FINISHES	DA	DA
7	12.15.18	REVISION 6: CHANGES TO FINISHES	DA	DA
8	12.15.18	REVISION 7: CHANGES TO FINISHES	DA	DA
9	12.15.18	REVISION 8: CHANGES TO FINISHES	DA	DA
10	12.15.18	REVISION 9: CHANGES TO FINISHES	DA	DA

EL ST.
OF WAY)

SCOTLAND ROAD
(49.50' RIGHT OF WAY)

DA+A
DEVINO AIELLO AND ASSOCIATES
Design and Architecture Group

430 Communipaw Ave., 3rd floor
Jersey City, NJ 07304
tel: 201-360-0699
fax: 201-360-0679
www.devinoaielloarchitects.com

Dennis M. Devino, P.A.

N.J. Lic. 1070501 | N.J. Lic. 1070501
N.Y. Lic. 1303001 | Pa.Lic. Pa.Lic. 0000004
Md.Lic. 10651 | D.C.Lic. A61761638

Antonio Aiello, P.A.

N.J. Lic. A0219794 | N.Y. Lic. 021206
CONSULTANTS

CLIENT
SCOTLAND VENTURES LLC
3008 13TH AVENUE
BROOKLYN, NY 11219

ADDRESS
611-817 SCOTLAND ROAD
517 SOUTH BEACH STREET #705B
ORANGE TOWNSHIP, NJ 07050
BLOCK 0165, LOT 2, 3, 4, 5

ISSUE

NO.	DATE	NOTES
01	12.15.18	PERMITS REVIEW SUBMISSION
02	12.18.21	MUNICIPAL SUBMISSION
03	12.11.18	MUNICIPAL SUBMISSION

REVISION:

NO.	DATE	NOTES

PROJECT NO.: _____
DRAWN BY: _____
CHECKED BY: _____
COMPONENT: DEVINO AIELLO ARCHITECTS
SHEET TITLE: _____
SITE PLAN, ZONING QUIET AND BUILDING INFORMATION

Z-000

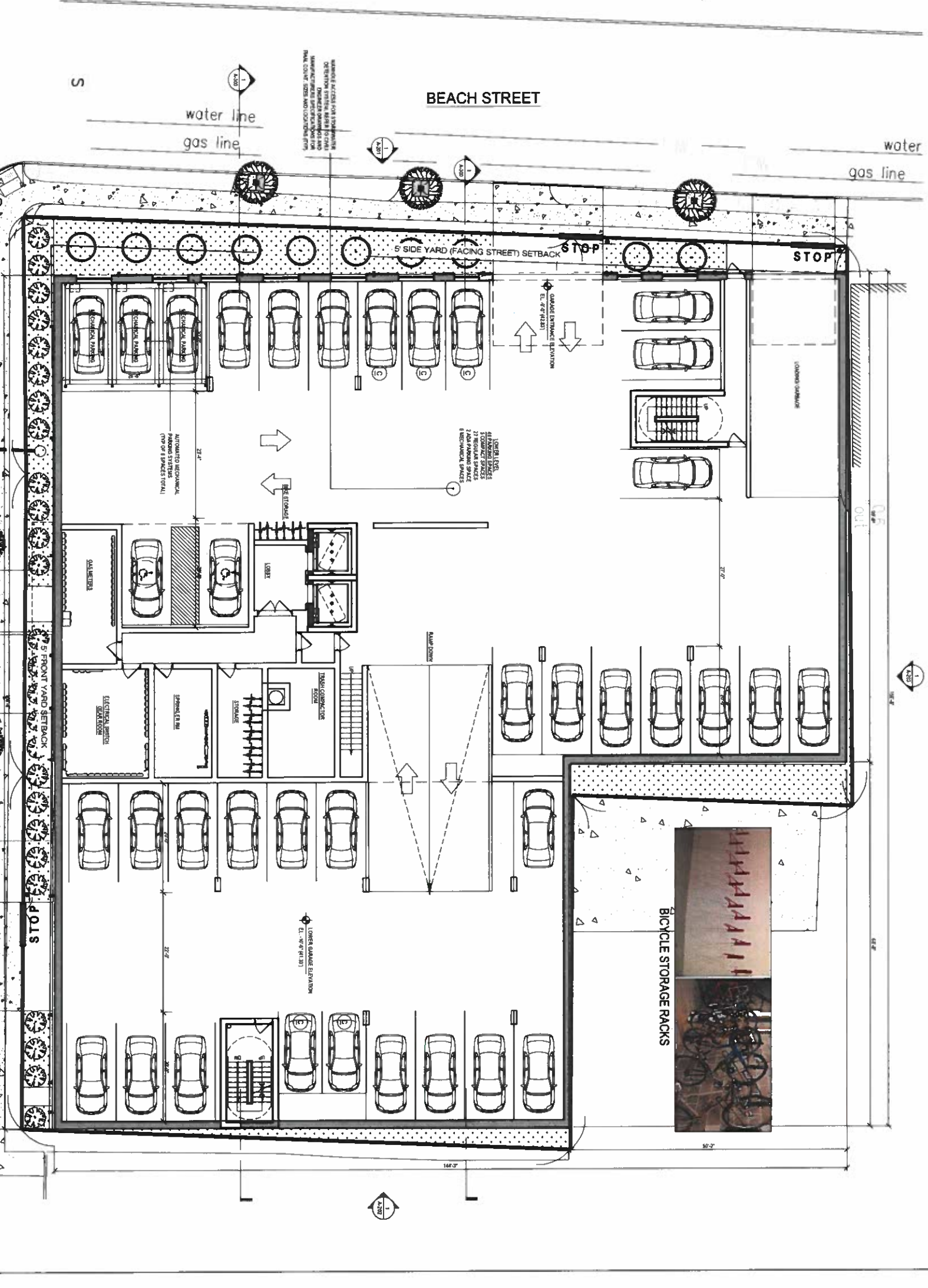
(50' RIGHT OF WAY)

1
SCALE: 1/8" = 1'-0"

BASEMENT FLOOR PLAN
SCOTLAND ROAD

BASEMENT FLOOR PLAN
PLAN

A-100



DA+A
DEVINO AIELLO AND ASSOCIATES
Design and Architecture Group

430 Commutergate Ave., 3rd floor
Jersey City, NJ 07304
Tel: 201-360-0699
Fax: 201-360-0779
www.devinoaielloarchitects.com

DE
Dennis M. Devino, R.A.
N.J. Lic. 0001001 / P.E. License 00001
N.Y. Lic. 0001001 / P.A.L.C. No. 00001
MD Lic. 0001001 / P.C.L.C. No. 00001

Antonio Aiello, R.A.
N.J. Lic. 0001004 / N.Y. Lic. 00000
CONTRACTORS

CLIENT:
SCOTLAND VENTURES LLC
508 13TH AVENUE
BROOKLYN, NY 11219

ADDRESS:
611-617 SCOTLAND ROAD
517-519 BEACH STREET
GRANVILLE, NJ 07030
BLOCK 015, LOT 2, 4, 8, 9

ISSUE:

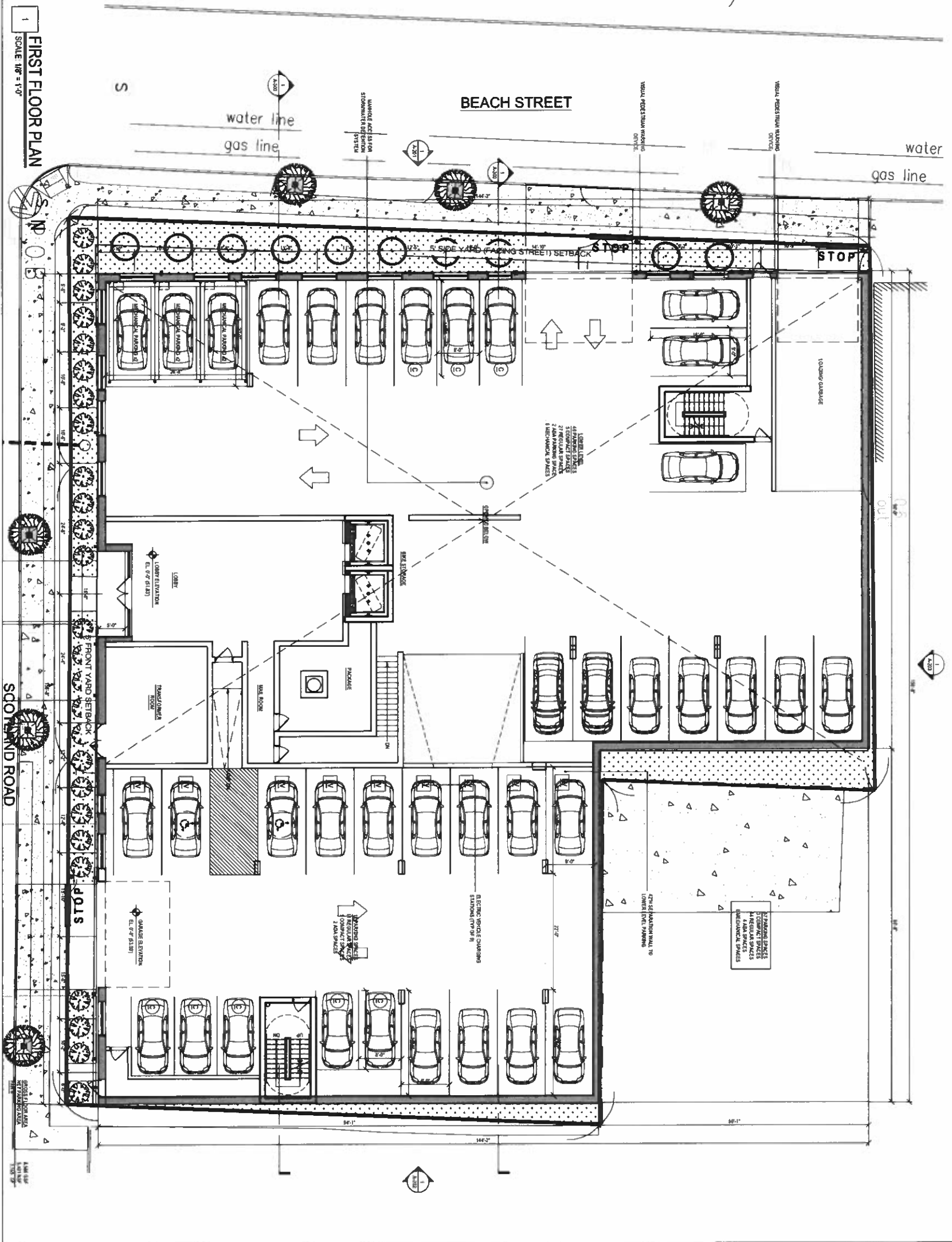
NO.	DATE	NOTES
01	02.08.18	PERMITS REVIEW SUBMISSION
02	02.08.23	MUNICIPAL SUBMISSION
03	02.11.18	MUNICIPAL SUBMISSION

REVISION:

NO.	DATE	NOTES

PROJECT NO.
DRAWN BY: AA
CHECKED BY: AA
COMPILED BY: DEVINO AIELLO ARCHITECTS
SHEET TITLE:
BASEMENT FLOOR
PLAN

(50' RIGHT OF WAY)



1 FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

DA+A
DEVINO AIELLO AND ASSOCIATES
Design and Architecture Group

430 Cliffside Avenue, 3rd Floor
Long Beach, CA 90804
Tel: 310-346-0569
Fax: 310-346-0579
www.devinoaielloandassociates.com
Dennis M. Devino, R.A.

Antonio Aiello, R.A.
NY Lic. A00874 | NV Lic. 00706
COMMITTEES

CLIENT
SCOTLAND VENTURES LLC
5308 13TH AVENUE
BROOKLYN, NY 11219

ADDRESS
611-817 SCOTLAND ROAD
517-518 BEACH STREET
ORANGE TOMSHIRE, NJ 07050
BLOCK 015, LOT 2, 3, 4 & 5

ISSUE	DATE	NOTES
01	12/16/14	APPLICATION REVIEW SUBMISSION
02	12/22/15	REVISION SUBMISSION
03	12/11/15	MUNICIPAL SUBMISSION

REVISION:	DATE	NOTES

PROJECT NO.: _____
DRAWN BY: _____
CHECKED BY: DA
CONTRACT: 08 DEVINO AIELLO ASSOCIATES
SHEET TITLE: _____

FIRST FLOOR PLAN

A-101

DA+A

DEVINO AIELLO AND ASSOCIATES
 Design and Architecture Group

430 Commuterraw Ave., 3rd floor
 Jersey City, NJ 07304
 Tel: 201-566-0559
 Fax: 201-566-0579
 www.devinoaielloandassociates.com

Dennis M. Devino, R.A.

ANTONIO AIELLO, P.E., P.L.C., S.E. (NJ)
 MICHAEL AIELLO, P.L.C., S.E. (NJ)
 JOHN J. AIELLO, P.L.C., S.E. (NJ)
 JOHN M. AIELLO, P.L.C., S.E. (NJ)

Antonio Aiello, R.A.

P.L.C., A.D. 87794 | IN L.P.C. 85150

CONTRACT DATE:

CLIENT:
 SCOTLAND VENTURES LLC
 5308 13TH AVENUE
 BROOKLYN, NY 11219

ADDRESS:
 81-811/2 SCOTLAND ROAD
 517-519 BRACK STREET
 ORANGE, TOWNSHIP, NJ 07050
 BLOCK 0185, LOT 2, 3, 4 & 5

ISSUE:

NO.	DATE	NOTES
1	7/20/11	APPLICANT REVIEW SUBMISSION
2	7/28/11	MUNICIPAL SUBMISSION
3	7/27/11	MUNICIPAL SUBMISSION

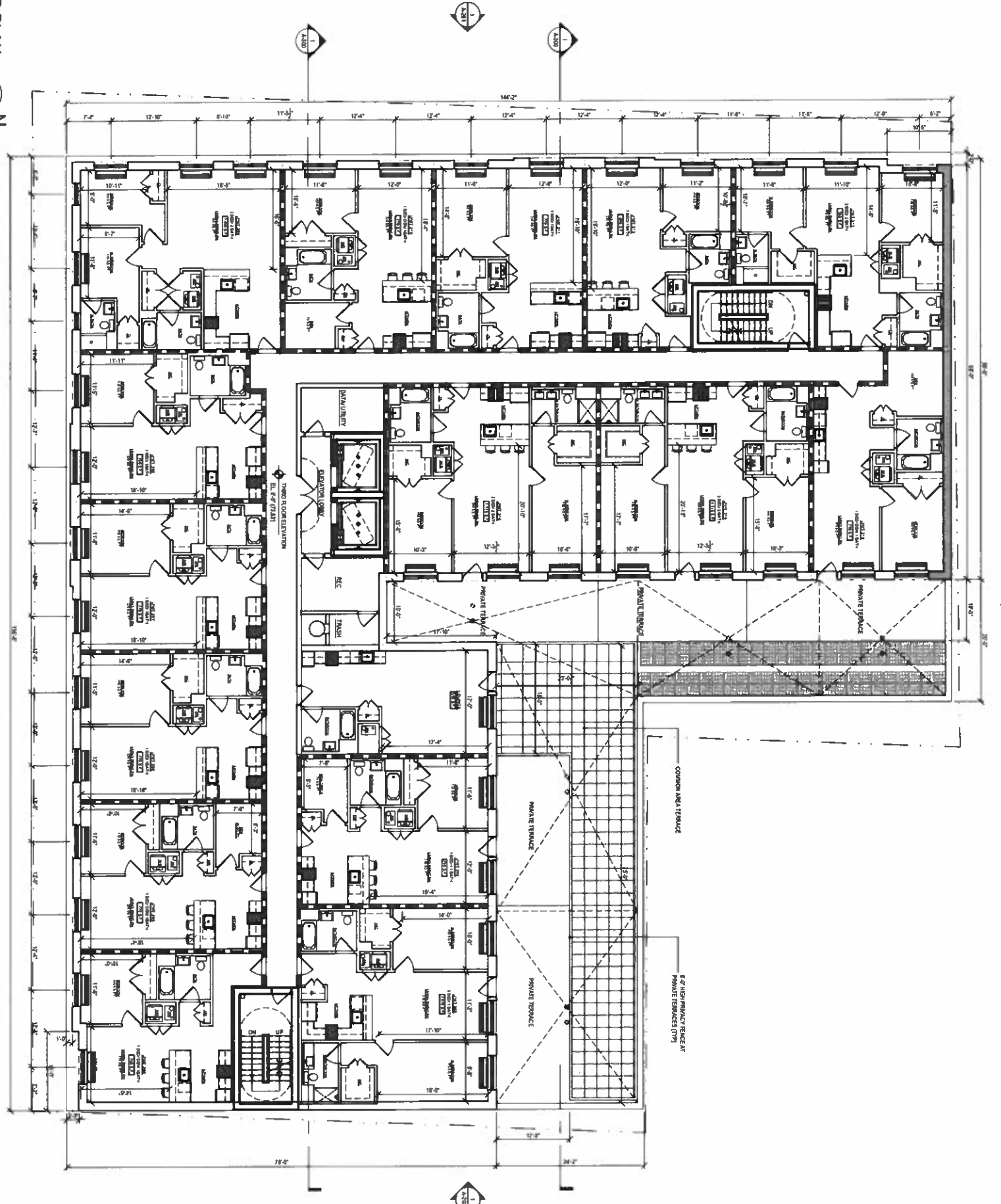
REVISION:
 WORK DATE: _____
 NOTES: _____

PROJECT INFO:
 PROJECT NO: _____
 DRAWING BY: J.A.
 CHECKED BY: J.A.
 COPYRIGHT © DEVINO AIELLO ASSOCIATES
 SHEET TITLE: _____

SECOND FLOOR PLAN

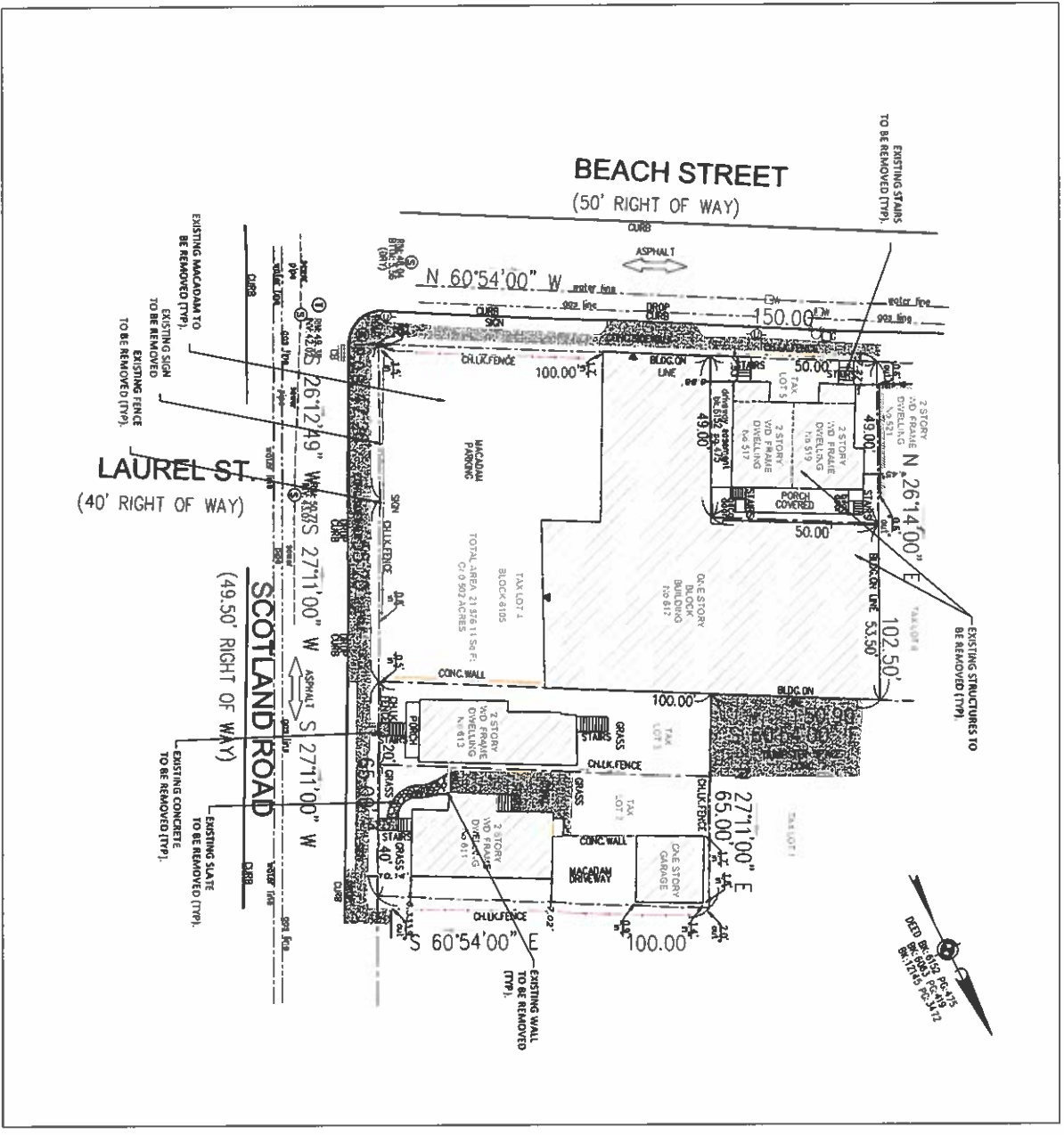
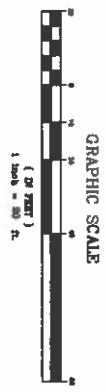
A-102

1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



GRASS FLOOR AREA
 14,000 SQ. FT.

SURVEY NOTE:
 THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC. THIS SURVEY IS SUBJECT TO ANY FACTS AN ACCURATE TITLE SEARCH MAY DISCLOSE. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, C.14 (04S:23a3) AND N.J.A.C. 17:28(a), 1 (b).



LEGEND:
 X - TO BE REMOVED

LEGEND:

- HYDRANT
- GAS VALVE
- WATER VALVE
- UTILITY POLE
- SANITARY SEWER MANHOLE
- SIGN
- STREET LIGHT (METAL POLE)
- GAS LINE
- WATER LINE
- SEWER LINE
- GAS MARK OUT
- SPOT GRADE
- TOP OF CURB
- BOTTOM OF CURB
- TOP OF WALL
- BOTTOM OF WALL
- FINISH FLOOR
- EXIST. CONTOUR

ELEVATIONS ARE BASED ON ASSUMED DATUM
 CONTOUR INTERVAL EQUALS 1 FOOT.
 ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN.

TAX LOTS 2, 3, 4 & 5 BLOCK 6105
 611 - 617 SCOTLAND ROAD
 517 - 519 BEACH STREET
 TOWNSHIP OF ORANGE
 ESSEX COUNTY, NEW JERSEY

SITE DEMOLITION PLAN

JOB NUMBER: 22-4488
 SCALE: AS SHOWN

C-02
 SHEET 1 OF 8

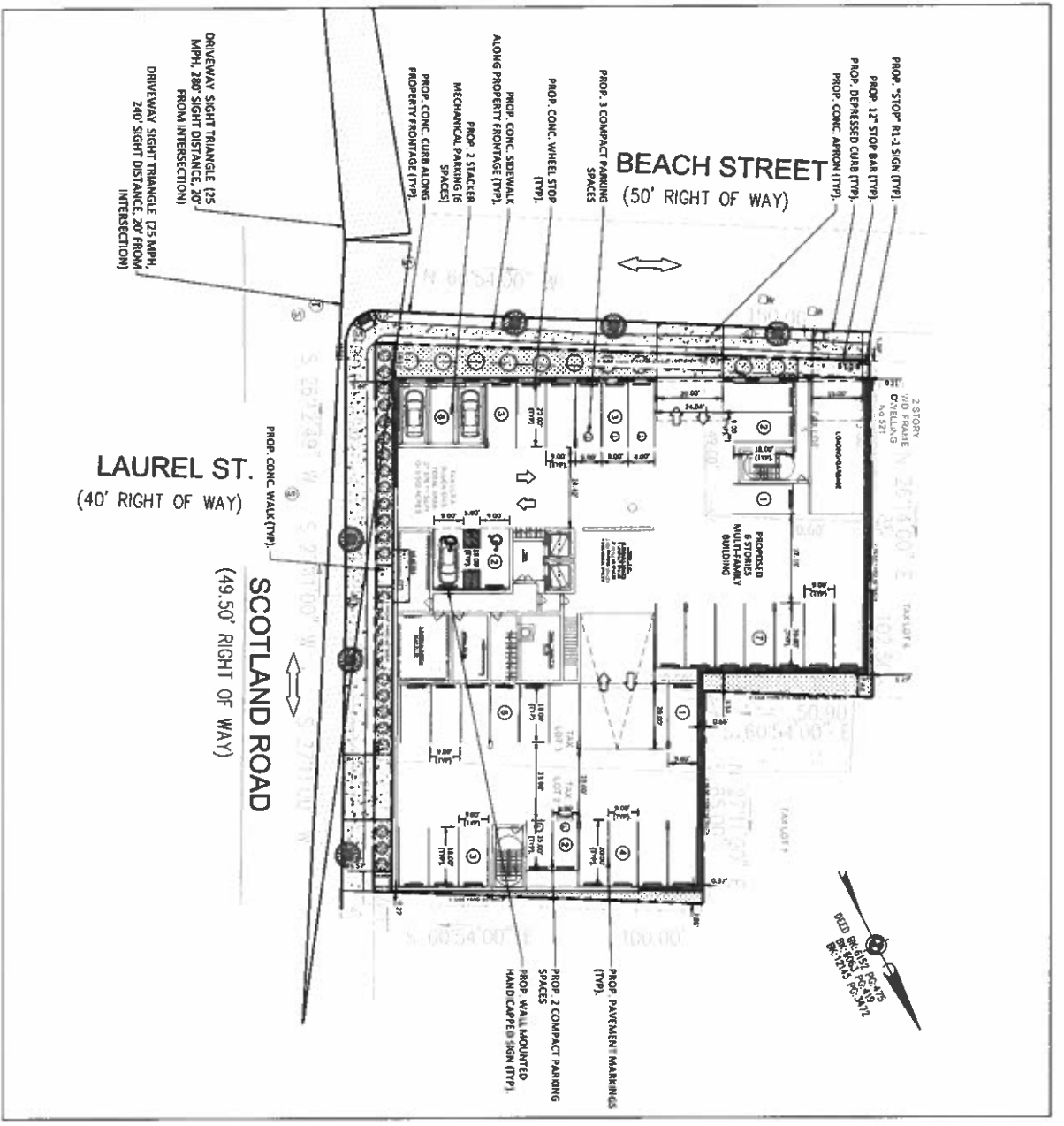
AWZ ENGINEERING, INC.
 ENGINEERS • SCIENTISTS • CONSULTANTS
 Main Office: 150 River Road, Suite B3, Moniville, NJ 07045
 Pennsylvania Office: Scranton, PA 18504
 Tel: 973-588-7080 Fax: 973-588-7079
 www.awzengineering.com e-mail: info@awzengineering.com
 New Jersey Certificate of Authorization No. 24GA28118400
 Pennsylvania Certificate of Authority No. 3771354

ADNAN A. KHAN, P.E., C.M.E.
 PROFESSIONAL ENGINEER

Adnan A. Khan 1/11/22
 DATE

N.J. LICENSE NO. 29812 P.A. LICENSE NO. 49632E
 N.Y. LICENSE NO. 086438 M.D. LICENSE NO. 61893

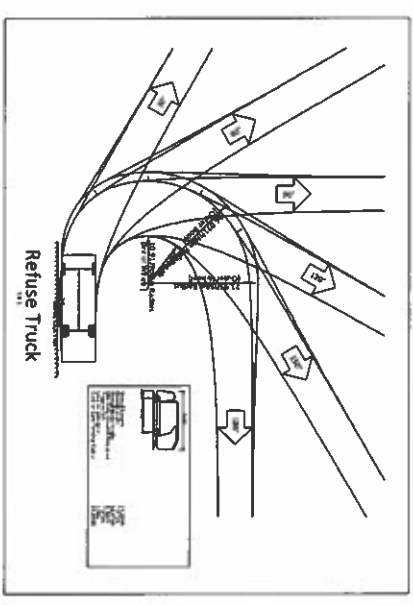
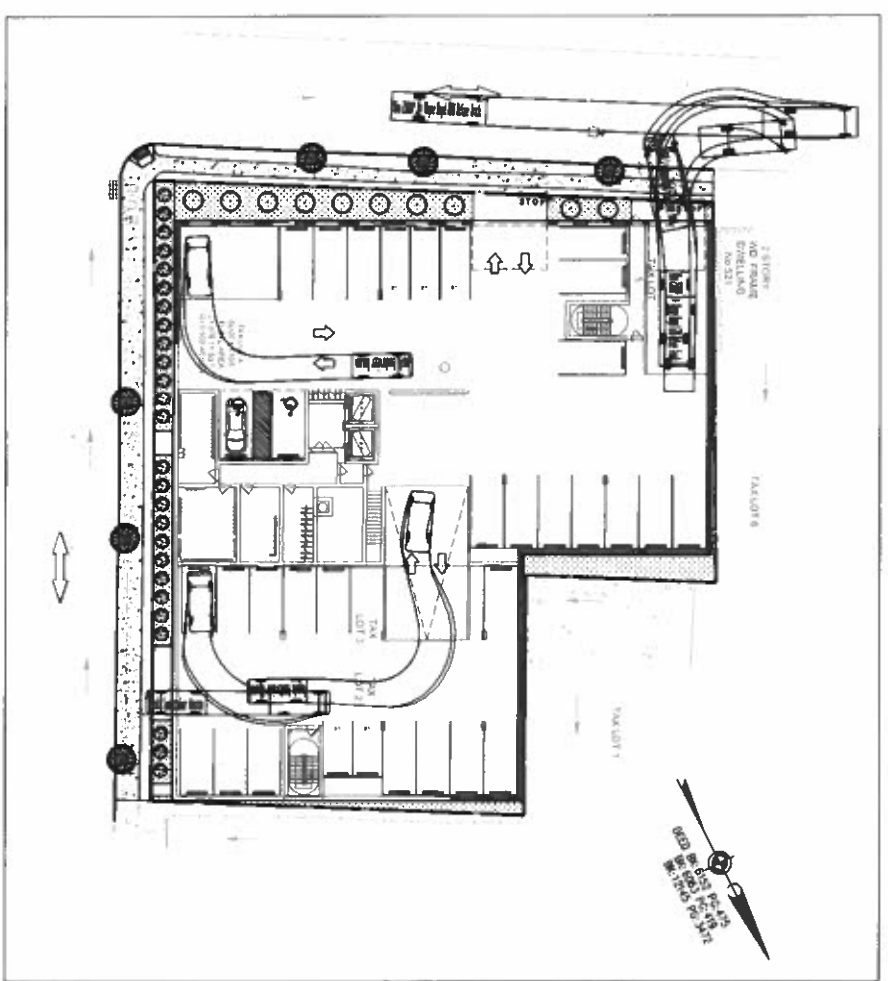
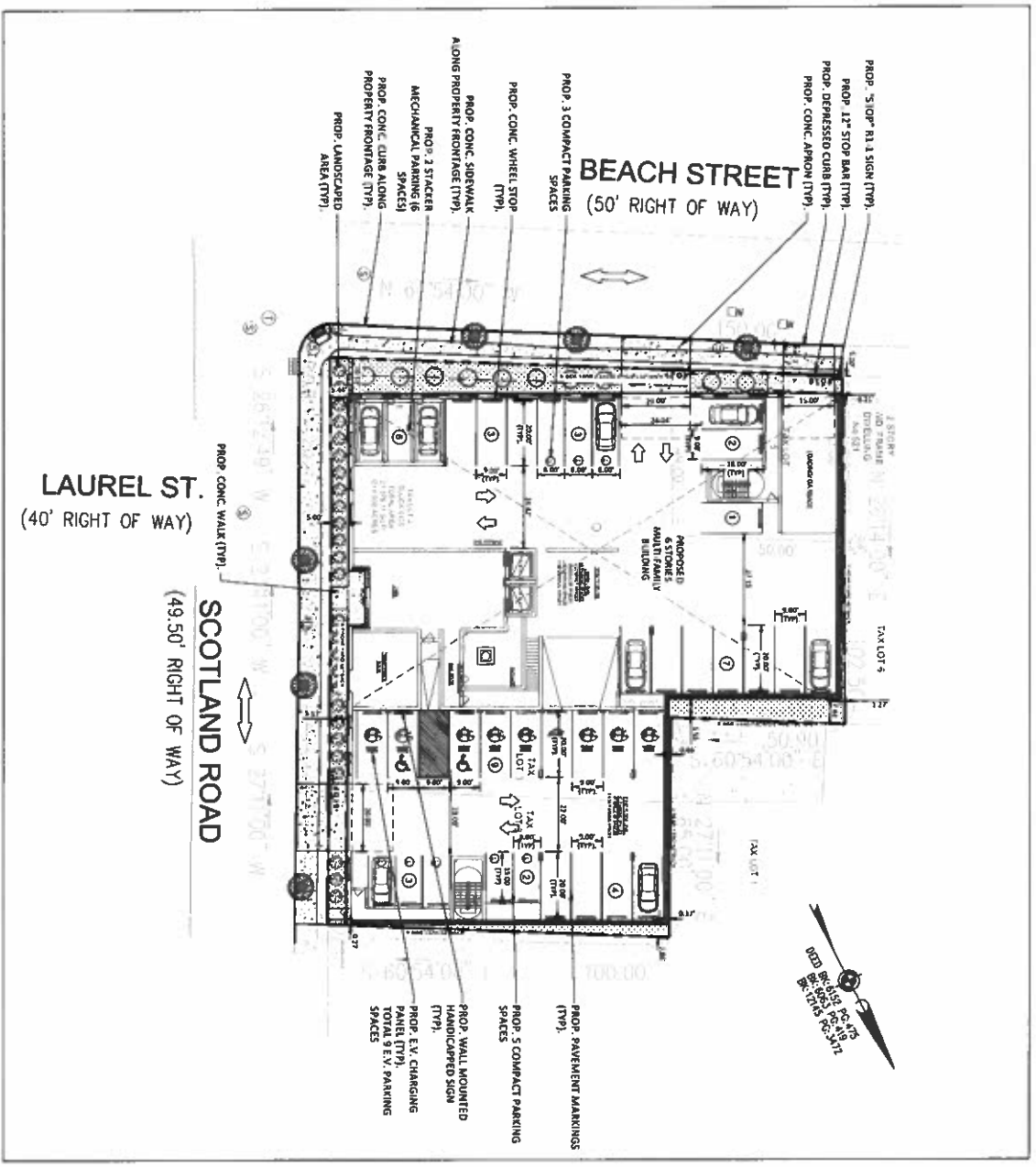
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DESIGNED BY	AS	DATE	05/09/22
APPROVED BY	AS	DATE	07/25/22
NO.	REVISIONS	DATE	BY



- GENERAL NOTES:**
1. PARCEL IS KNOWN AS TAX LOTS 2, 3, 4 & 5 IN BLOCK #103 AS SHOWN ON THE TAX MAPS OF THE TOWNSHIP OF ORANGE.
 2. AREA OF PARCEL = 21,918.11 S.F. OR 0.502 ACRES.
 3. PARCEL IS LOCATED ENTIRELY IN THE ROW - REDEVELOPMENT AREA 5 (CENTRAL VALLEY REDEVELOPMENT AREA - DISTRICT 4) AS SHOWN ON THE ZONING MAP OF THE TOWNSHIP OF ORANGE.
 4. IF THIS DOCUMENT DOES NOT CONTAIN A PUBLISHED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL, AND MAY HAVE BEEN ALTERED.
 5. THIS IS A SITE DEVELOPMENT PLAN AND NOT A SURVEY. DO NOT SCALE DIMENSIONS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERE TO.
 6. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
 7. ELEVATIONS AND CONTOURS SHOWN ON THIS PLAN ARE BASED ON THE SURVEY PERFORMED AND PROVIDED BY DA - A DESIGN AND ARCHITECTURE GROUP RECEIVED AS DIGITAL FILE ON JUNE 2022 (UPDATED NOVEMBER 2022).
 8. PROPOSED BUILDING FOOTPRINT AS PER THE ARCHITECTURAL PLANS PREPARED AND PROVIDED BY DA - A DESIGN AND ARCHITECTURE GROUP RECEIVED AS DIGITAL FILE ON JUNE 2022 (UPDATED NOVEMBER 2022).
 9. UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE BEST INFORMATION AVAILABLE TO THE CONTRACTOR SHALL BE OBTAINED PRIOR TO CONSTRUCTION TO PREVENT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
 10. ALL EXISTING UTILITIES THAT ARE TO BE RELOCATED OR ALTERED IN ANY MANNER ARE TO BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANIES' STANDARDS. ALL THE EXISTING UTILITIES EXPOSED DURING CONSTRUCTION ARE TO BE SUPPORTED UNTIL BACKFILL IS IN PLACE. ANY CROSSING LESS THAN ONE FOOT CLEAR TO BE SUPPORTED WITH A SADDLE (CONCRETE OR SAND) AS NOTED.
 11. ALL SEWER LINES SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM POTABLE WATER LINES AND AT LEAST 18 INCHES BELOW POTABLE WATER LINES AND IN SEPARATE TRENCHES.
 12. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND DESIGNED AND INSTALLED BY WATER, ELECTRIC, GAS, TELEPHONE AND CABLE TO BE PROVIDED BY RESPECTIVE UTILITY COMPANIES.
 13. WATER AND GAS SERVICE WATERBULK BUREAU DEPTH AND COVER REQUIREMENTS SHALL BE COMPLY WITH THE COUNTY/MUNICIPAL ROAD OPENING PERMIT REQUIREMENTS.
 14. SITE GRADING AND UTILITY WORK ARE TO BE PERFORMED IN A MANNER TO MINIMIZE DAMAGE TO REMAINING NATURAL AND UNDISTURBED.
 15. PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. THE CURBS SHALL BE REMOVED FROM THE EXISTING PAVEMENT FROM THE SITE AT THE LINE OF EXCAVATION.
 16. LOCATION OF PROPOSED ROOF DRAINS ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE PROJECT ARCHITECT PRIOR TO CONSTRUCTION.
 17. NO ON-SITE SOIL TESTING AND GROUNDWATER ASSESSMENT HAS BEEN PERFORMED ON THIS PROJECT BY THE DESIGN ENGINEER. IT SHALL BE THE OWNERS AND/OR CONTRACTORS RESPONSIBILITY TO CONDUCT SOIL TESTING AND GROUNDWATER ELEVATION DETERMINATION TO FURNISH GRADES AND CONSTRUCTION TECHNIQUES WITH RESPECT TO SUBSURFACE SOIL AND GROUNDWATER CONDITIONS.
 18. CONDUCTING IN FULL AREA SAFETY. ALL PROPOSED UTILITIES AND STRUCTURES SHOULD MEET ALL MANUFACTURERS AND MUNICIPAL REQUIREMENTS AND BE EQUAL TO THE MINIMUM 95% ADOPTED PROCTOR DENSITY.
 19. THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION".
 20. ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE APPROVAL SHALL BE SHOWN HEREON SHALL BE PERFORMED IN STRICT COMPLIANCE WITH:
 - ROAD STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - A CURRENTLY CURRENT PREVALING MUNICIPAL AND/OR COUNTY SPECIFICATIONS.
 - STANDARDS AND REQUIREMENTS.
 - CURRENT PREVALING UTILITY COMPANYS/UTILITY SPECIFICATIONS, STANDARDS, AND STANDARDS.
 - RESIDENTIAL SITE IMPROVEMENT STANDARDS - N.J. ADMINISTRATIVE CODE TITLE 5, CHAPTER 21, AS CURRENTLY AMENDED.
 - STANDARDS AND/OR CONDITIONS OF ANY OTHER GOVERNING BODIES HAVING JURISDICTION.
 21. CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES, APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS AND ADDITIONS THERE TO OF THE FEDERAL DEPARTMENT OF LABOR, BUREAU OF SAFETY AND HEALTH RECORDS FOR CONSTRUCTION SAFETY AND HEALTH STANDARDS AND REGULATIONS AND HEALTH RECORDS FOR CONSTRUCTION SAFETY AND HEALTH STANDARDS AND REGULATIONS, BUREAU OF ENGINEERING AND SAFETY, CONSTRUCTION SAFETY CODE, AND MAINTENANCE CONSTRUCTION AND DEMOLITION - AND BUILDING CODE.
 22. CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL ALSO BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCING OF CONSTRUCTION OPERATIONS. UNDER NO CIRCUMSTANCES SHOULD THE INFORMATION PROVIDED HEREIN BE CONSIDERED A GUARANTEE OF THE CONTRACTOR'S ACTIVITIES. SUCH RESPONSIBILITY IS NOT BEING DELETED AND SHOULD NOT BE INFERRED.
 23. ALL PROPOSED TRAFFIC CONTROL SIGNS AND STANDA SHALL COMPLY WITH THE LATEST DESIGN AND CONSTRUCTION TO THE SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY AND WARNING SIGNS SHALL BE FABRICATED OF FLUO ALUMINUM SHEETS AND SHALL BE COVERED WITH DAMPING GRADE REFLECTIVE SHEETING SERIES 4000 TYPE II DISPERSION PER ASTM.
 24. ALL PROPOSED HANDICAP PARKING SPACES SHALL BE IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
 25. ALL REQUIRED SOIL EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY SITE DISTURBANCE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPLY ANY ADDITIONAL SOIL EROSION & SEDIMENT CONTROL MEASURES AS REQUESTED BY THE GOVERNING SOIL CONSERVATION DISTRICT.
 26. PEDESTRIAN WARNING DEVICES AND CONTRASTING SURFACES SHALL BE PROVIDED AT THE DRIVEWAY ENTRANCES.

TAX LOTS 2, 3, 4 & 5 611 - 617 SCOTLAND ROAD 517 - 519 BEACH STREET TOWNSHIP OF ORANGE ESSEX COUNTY, NEW JERSEY		BLOCK 6105																	
AVZ ENGINEERS, INC. ENGINEERS • SCIENTISTS • CONSULTANTS Main Office: 150 River Road, Suite B3, Montville, NJ 07045 Pennsylvania Office: Scranton, PA 18504 Tel: 973-586-7000 Fax: 973-586-7079 www.avzengr.com e-mail: info@avzengr.com New Jersey Certificate of Authority No. 24G23118400 Pennsylvania Certificate of Authority No. 31711554																			
ADNAN A. KHAN, P.E., C.M.E. PROFESSIONAL ENGINEER DATE: 11/11/22		<table border="1"> <tr> <td>DRAWN BY</td> <td>11/11/22</td> </tr> <tr> <td>DATE:</td> <td>11/11/22</td> </tr> <tr> <td>DESIGNED BY</td> <td>11/11/22</td> </tr> <tr> <td>DATE:</td> <td>11/11/22</td> </tr> <tr> <td>CHECKED BY</td> <td>11/11/22</td> </tr> <tr> <td>DATE:</td> <td>11/11/22</td> </tr> <tr> <td>APPROVED BY</td> <td>11/11/22</td> </tr> <tr> <td>DATE:</td> <td>11/11/22</td> </tr> </table>		DRAWN BY	11/11/22	DATE:	11/11/22	DESIGNED BY	11/11/22	DATE:	11/11/22	CHECKED BY	11/11/22	DATE:	11/11/22	APPROVED BY	11/11/22	DATE:	11/11/22
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C-03 SHEET 3 OF 3		<table border="1"> <tr> <td>JOB NUMBER:</td> <td>22448</td> <td>DATE:</td> <td>11/11/22</td> </tr> <tr> <td>SCALE:</td> <td>AS SHOWN</td> <td>DATE:</td> <td>11/11/22</td> </tr> </table>		JOB NUMBER:	22448	DATE:	11/11/22	SCALE:	AS SHOWN	DATE:	11/11/22								
JOB NUMBER:	22448	DATE:	11/11/22																
SCALE:	AS SHOWN	DATE:	11/11/22																

**SITE DEVELOPMENT PLAN
BASEMENT**



TAX LOTS 2, 3, 4 & 5 611 - 617 SCOTLAND ROAD 517 - 519 BEACH STREET TOWNSHIP OF ORANGE ESSEX COUNTY, NEW JERSEY	BLOCK 6105	AWZ ENGINEERING, INC. ENGINEERS • SCIENTISTS • CONSULTANTS Main Office: 150 River Road, Suite B3, Montville, NJ 07045 Pennsylvania Office: Scranton, PA 18504 Tel: 973-588-7880 Fax: 973-586-7079 www.awzengineering.com e-mail: info@awzengineering.com New Jersey Certificate of Authorization No. 24GA28118400 Pennsylvania Certificate of Authority No. 3771354	ADNAN A. KHAN, P.E., C.M.E. PROFESSIONAL ENGINEER 11/18/22 DATE	DRAWN BY DATE DESIGNED BY DATE APPROVED BY DATE	PER ENGINEERING REVIEW COMMENTS REVISIONS DATE BY APR
			JOB NUMBER 22-4448	SCALE: AS SHOWN	C-04 SHEET 4 OF 8

SITE DEVELOPMENT PLAN
FIRST FLOOR

LEGEND

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION

MAINTENANCE OF UNDERGROUND STORM FACILITIES:

UNDERGROUND STORM FACILITIES - The underground drainage system, including all pipes, manholes, catch basins, inlets and appurtenances must be inspected for clogging and obstructions and cleaned and repaired as needed at least annually, as well as after every storm exceeding 2 inches of rainfall. Sediment removal should take place within 48 hours of the end of the storm. The contractor shall be responsible for the removal of debris, trash, sediment, and other materials from the storm drain at the site. The contractor shall be responsible for the removal of debris, trash, sediment, and other materials from the storm drain at the site. The contractor shall be responsible for the removal of debris, trash, sediment, and other materials from the storm drain at the site.

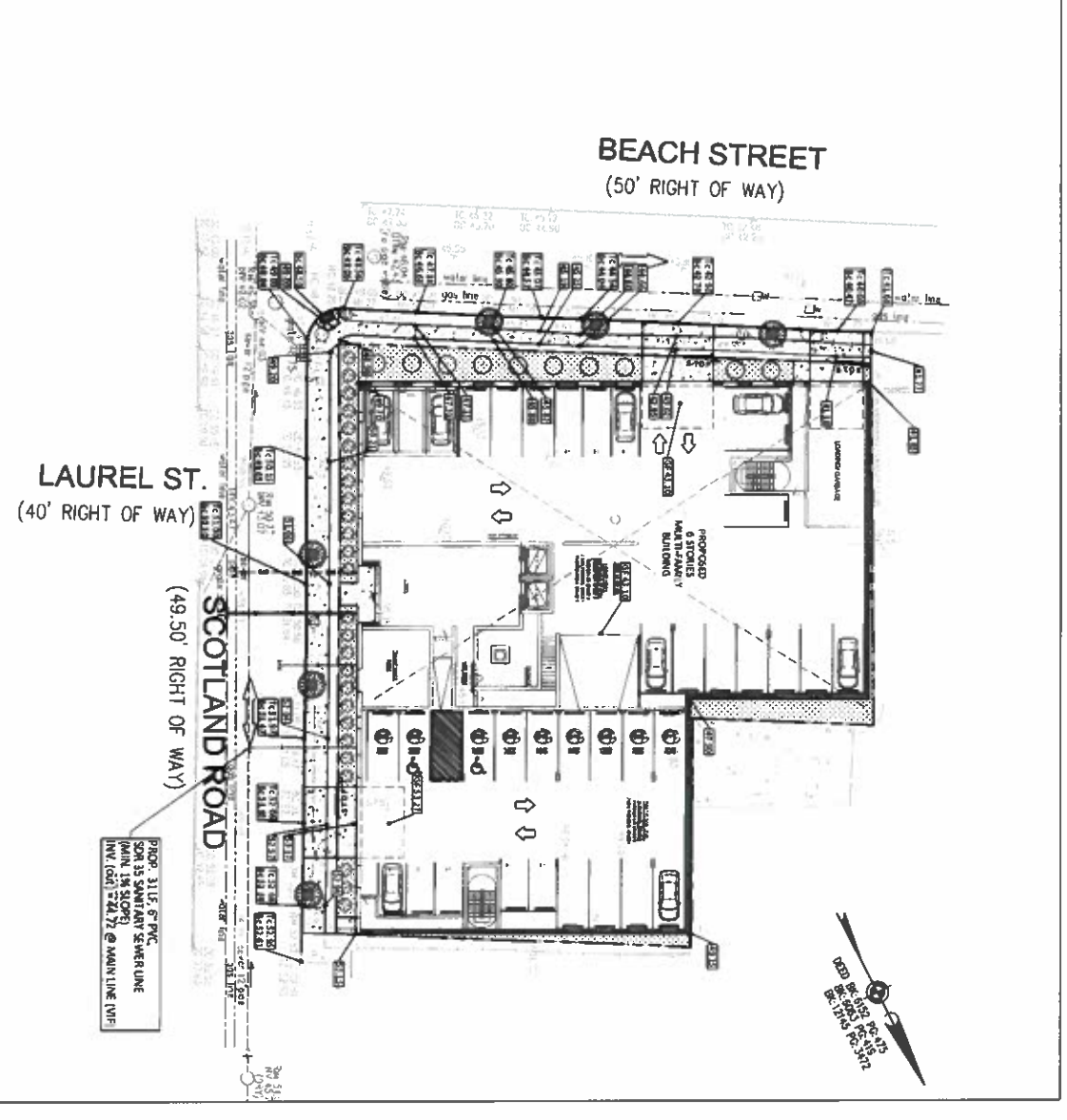
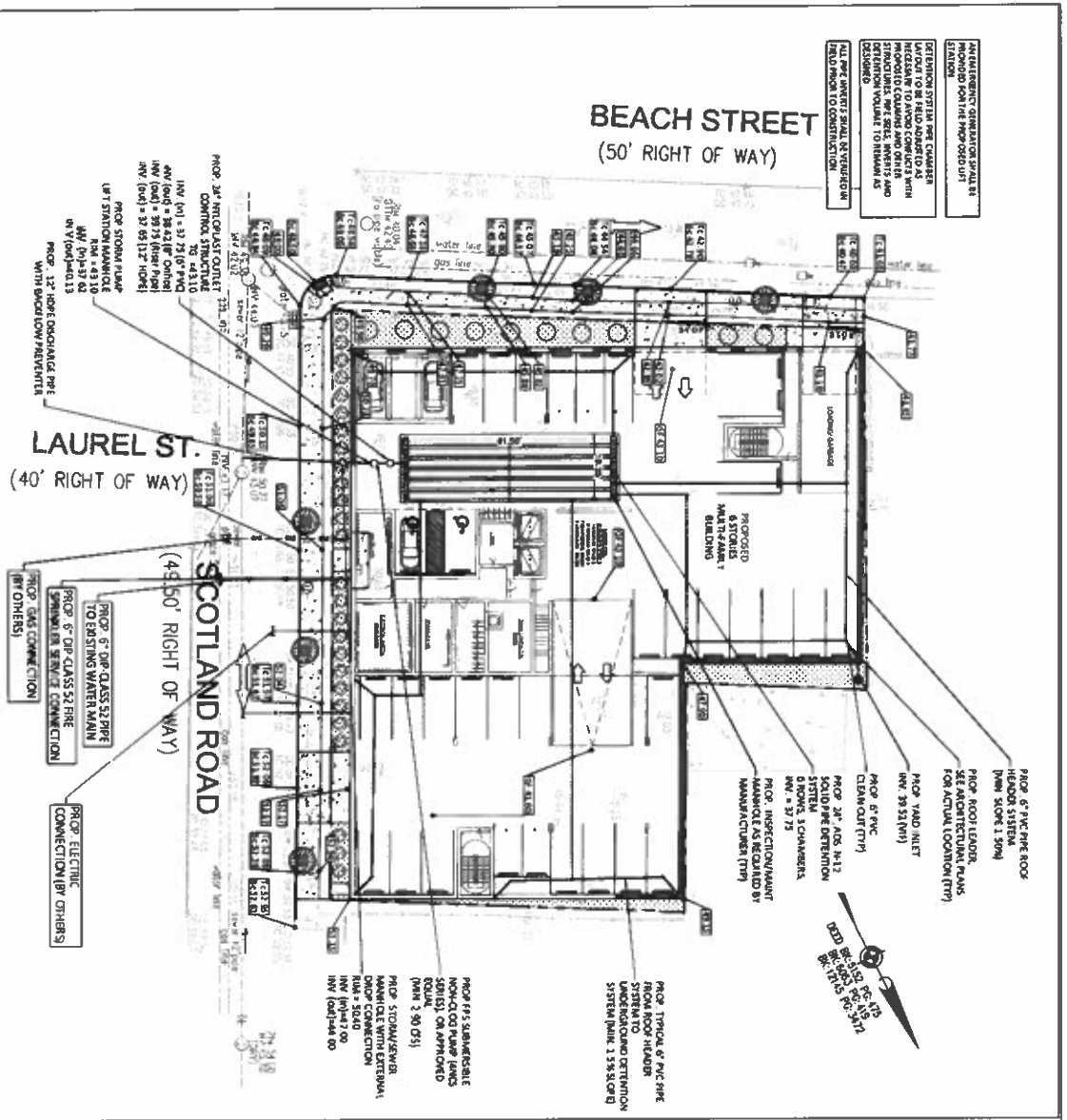
SEWER DEMAND WORKSHEET:

ADDITIONAL C.C. 7.14.20.3.1 - PROPOSED FLOW CAPACITY FOR THE REMOVAL OF DRAINAGE LOTS IS AS FOLLOWS:

1. 6.0000 CUMULATIVE UNIT = 140 GALLONS PER DAY (GPD) UNIT = 10.00 GPD
2. 2.0000 CUMULATIVE UNIT = 220 GALLONS PER DAY (GPD) UNIT = 22.00 GPD
TOTAL PROPOSED SEWER FLOW = 11.200 GPD

UTILITY RELOCATION WORKSHEET:

UTILITY RELOCATION WORKSHEET HAS BEEN CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION AND PUBLIC SAFETY. THE CONTRACTOR SHALL VERIFY ALL UTILITIES RELOCATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RELOCATION OF ALL UTILITIES TO PREVENT ADJUSTMENTS THAT BE REQUIRED TO AVOID CONFLICTS.



LOT COVERAGE CALCULATIONS

DESCRIPTION	EXISTING LOTS	PROPOSED LOTS
LOT 2	21,876.11	21,876.11
LOT 3	2,444.83	2,444.83
TOTAL	24,320.94	24,320.94

TAX LOTS 2, 3, 4 & 5
BLOCK 6105
611 - 617 SCOTLAND ROAD
517 - 519 BEACH STREET
TOWNSHIP OF ORANGE
ESSEX COUNTY, NEW JERSEY

GRADING, DRAINAGE AND UTILITY PLAN

JOB NUMBER: 22-0488
SCALE: AS SHOWN
C-05
SHEET 5 OF 8

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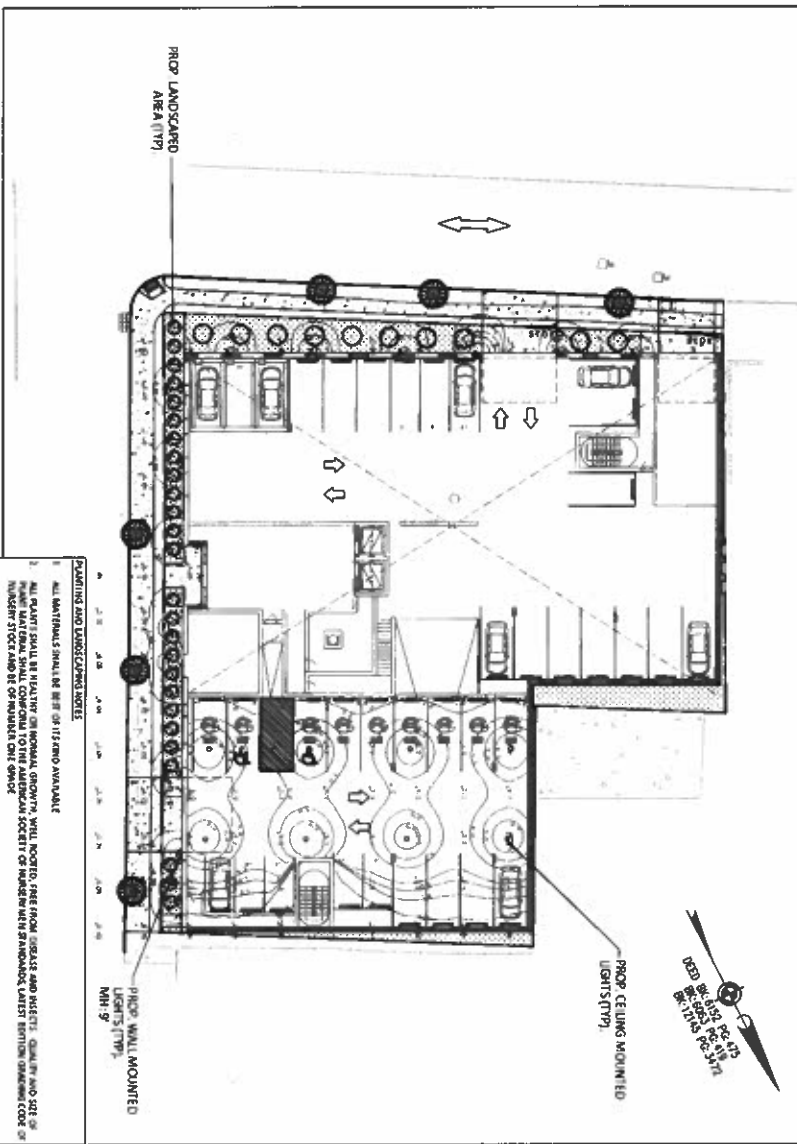
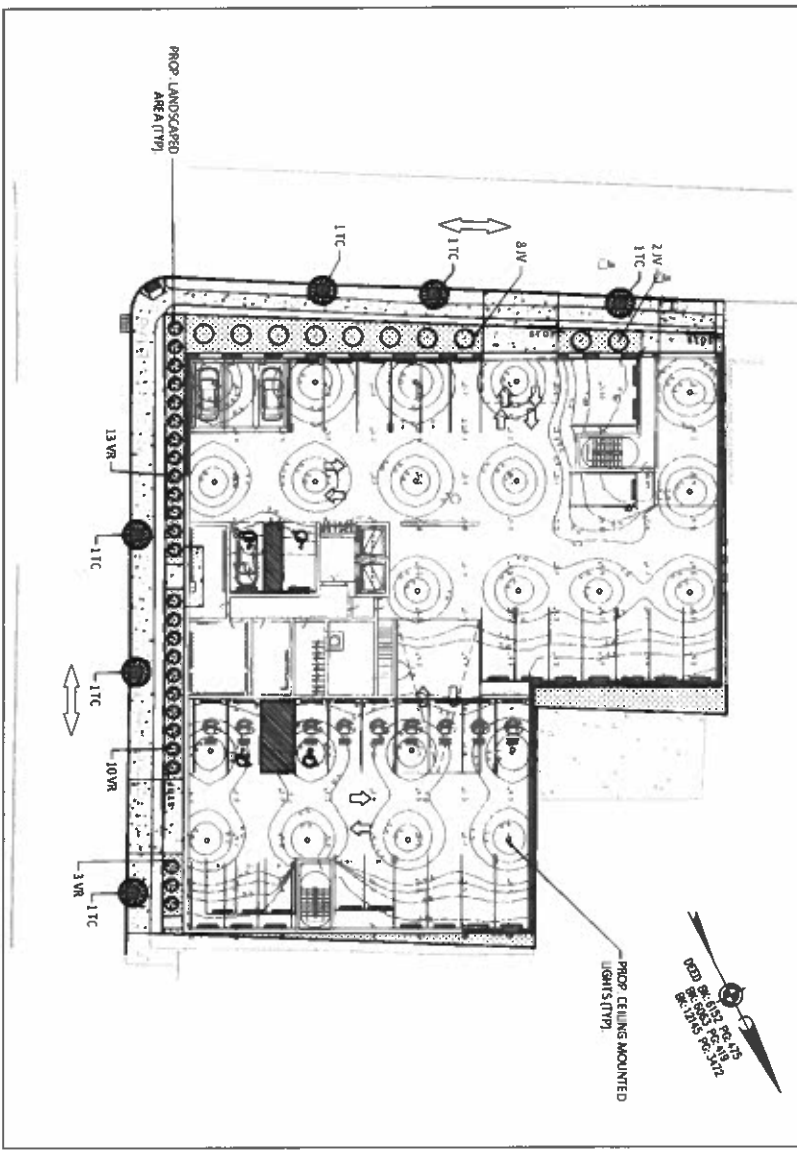
Adnan A. Khan

N.J. LICENSE NO. 38612 P.A. LICENSE NO. 68822
N.Y. LICENSE NO. 08808 N.E. LICENSE NO. 41881

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DESIGNED BY	AK	DATE	08/02/22
APPROVED BY	AK	DATE	11/14/22
REVISIONS		DATE	BY
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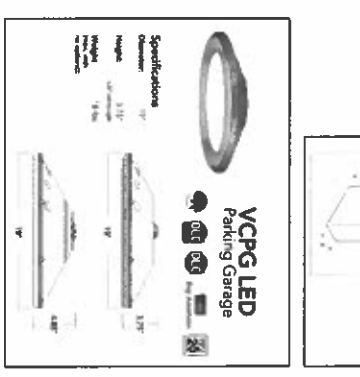
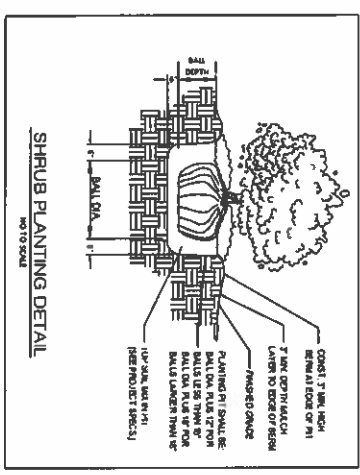
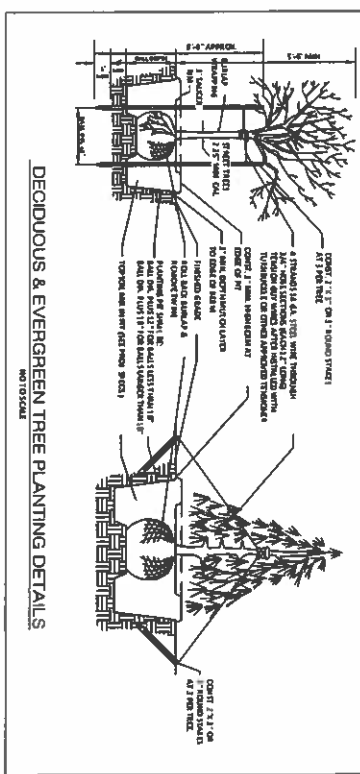
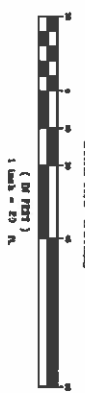
THIS PLAN TO BE USED FOR LANDSCAPE AND LIGHTING PURPOSE ONLY

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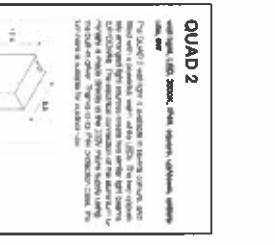


PROPOSED PLANTING SCHEDULE

SYMBOL	PLANT NAME	QUANTITY	SIZE	REMARKS	DATE
1TC	1.5M CAROLINA LEANING	24	10" DIA.	30' H	3/21/12
2TW	JAPANESE SPINDLE	12	4" DIA.	9' H	3/21/12
8TW	YONQUOI OAK	12	4" DIA.	9' H	3/21/12
13VA	VERONICA	12	4" DIA.	9' H	3/21/12
10VA	VERONICA	12	4" DIA.	9' H	3/21/12
3VA	VERONICA	12	4" DIA.	9' H	3/21/12



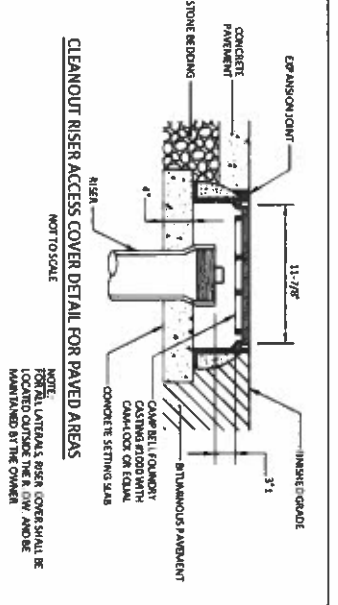
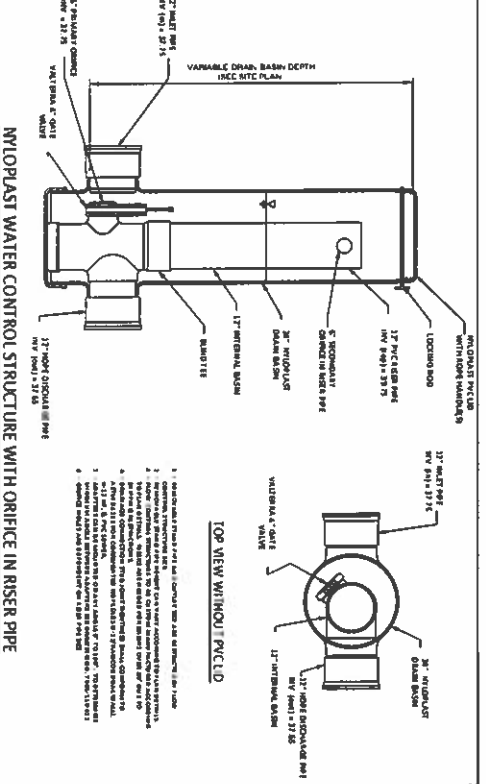
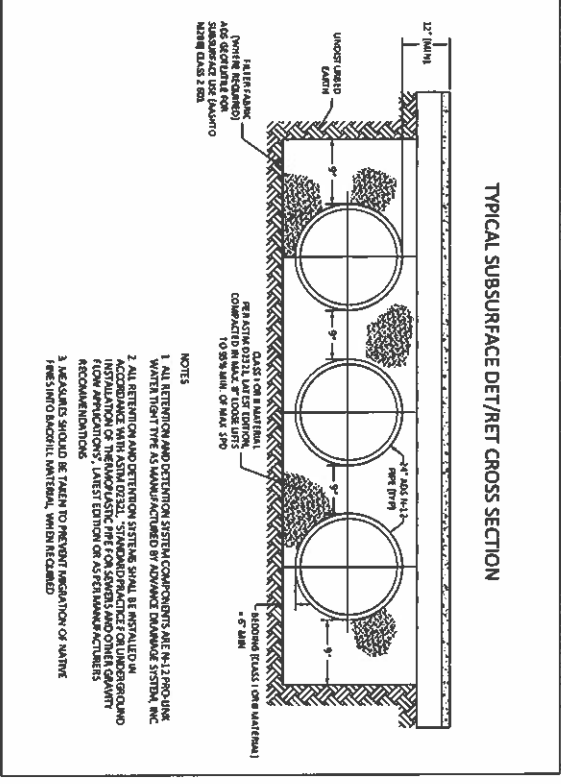
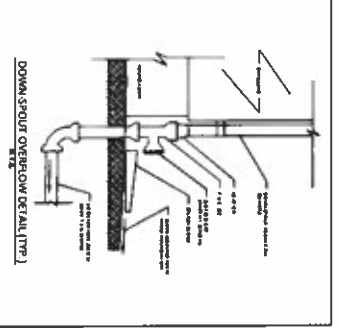
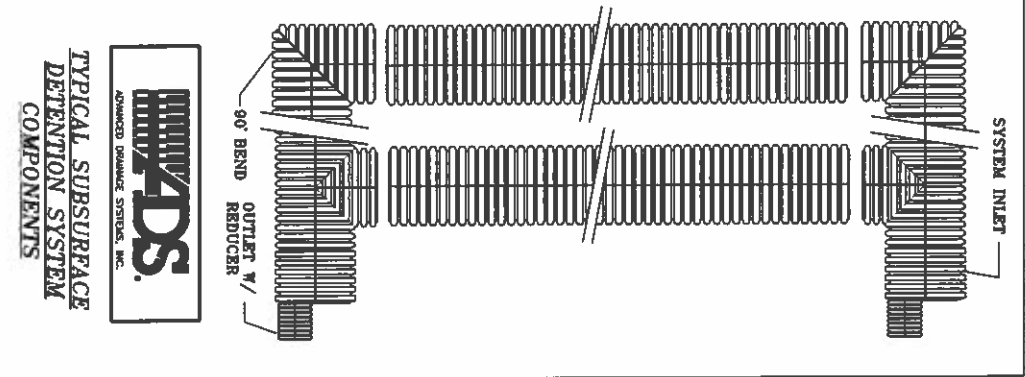
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1	QUAD 2	02/12/12	ADN	1
2	QUAD 2	02/12/12	ADN	2



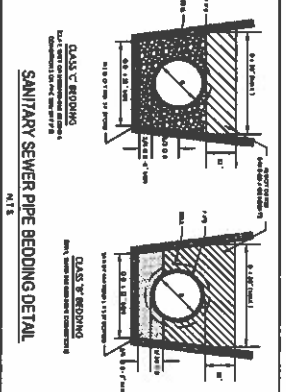
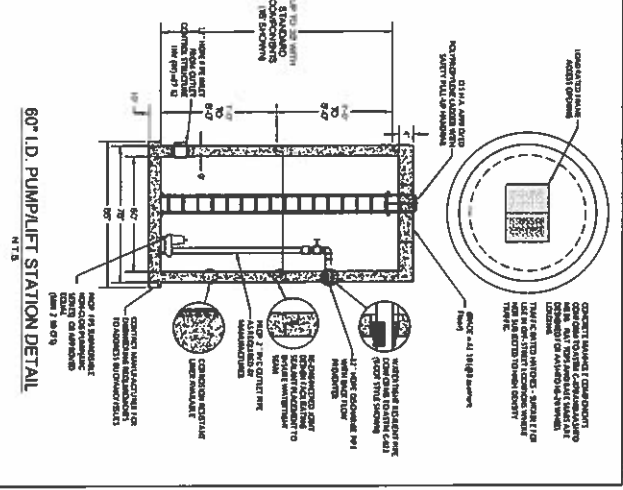
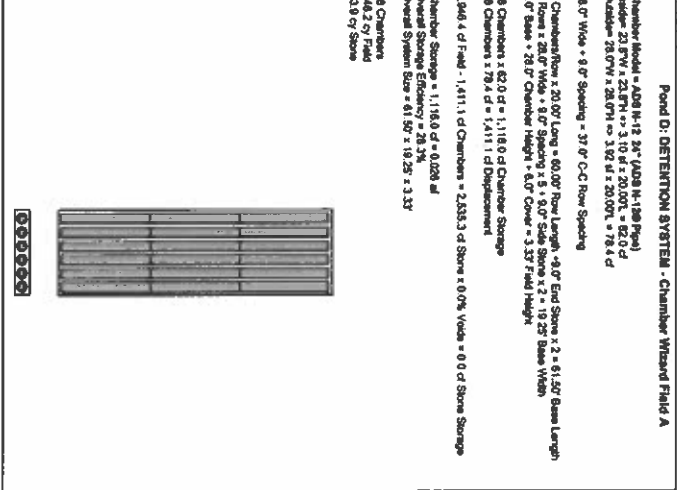
- PLANTING AND LANDSCAPING NOTES:**
- ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - ALL PLANTS SHALL BE PLANTED IN THE MONTHS OF APRIL, MAY, AND SEPTEMBER. PLANTS SHALL BE PLANTED IN THE MONTHS OF APRIL, MAY, AND SEPTEMBER.
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TAX LOTS 2, 3, 4 & 5 611 - 617 SCOTLAND ROAD 517 - 519 BEACH STREET TOWNSHIP OF ORANGE ESSEX COUNTY, NEW JERSEY	BLOCK 6105	LANDSCAPE AND LIGHTING PLAN	ADNAN A. KHAN, P.E., C.M.E. PROFESSIONAL ENGINEER	DRAWN BY: [] DATE: []	DESIGNED BY: [] DATE: []
				APPROVED BY: [] DATE: []	PER ENGINEERING REVIEW COMMENTS: [] DATE: []

AVZ ENGINEERING, INC. ENGINEERS • SCIENTISTS • CONSULTANTS Main Office: 150 River Road, Suite 103, Montville, NJ 07045 Pennsylvania Office: Scranton, PA 18504 Tel: 973-584-7000 Fax: 973-584-7070	NJ LICENSE NO. 3602 P.A. LICENSE NO. 45932 NY LICENSE NO. 08640 N.Y. LICENSE NO. 4180
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ALL BACKFILL WITHIN THE CITY RIGHT-OF-WAY SHALL BE NJDOT DENSE GRADED AGGREGATE (DGA) EXISTING MATERIALS SHALL NOT BE USED FOR BACKFILL.

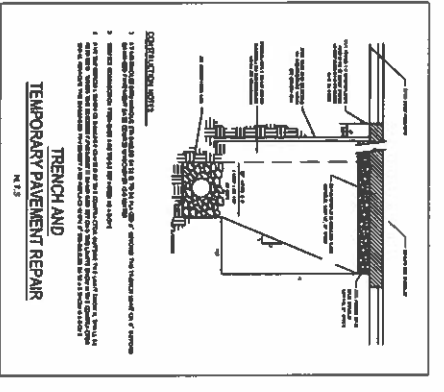
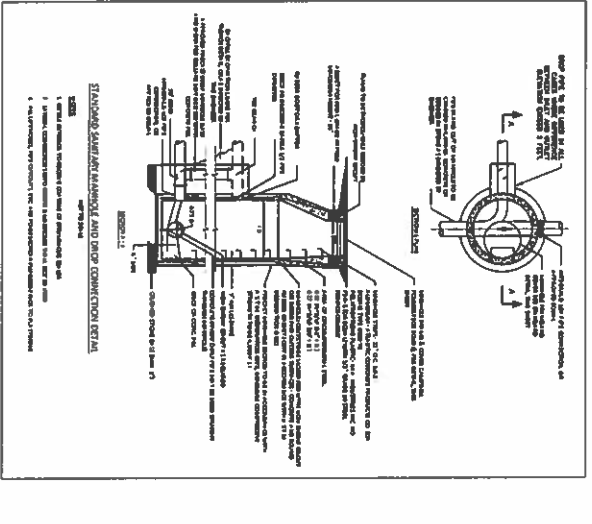


Summary for Pond B: DETENTION SYSTEM

Flow Area	Flow Rate	Volume	Storage
1.80 ac	3.00 cfs	2,160 cu ft	1,118 cu ft
2.80 ac	5.00 cfs	3,600 cu ft	1,118 cu ft
1.80 ac	1.25 cfs	864 cu ft	1,118 cu ft
1.25 ac	0.75 cfs	540 cu ft	1,118 cu ft

Storage Group A: Chamber Wetland Field A

Chamber Model	A48 N-15 24'
Chamber Depth	28.0'
Chamber Volume	21,952 cu ft
Chamber Storage	11,118 cu ft (50.6%)



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PROFESSIONAL ENGINEER

Adnan A. Khan

N.J. LICENSE NO. 99632 P.A. LICENSE NO. 49552
N.Y. LICENSE NO. 00698 N.Y. LICENSE NO. 4191

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Pennsylvania Office: Scranton, PA 18504

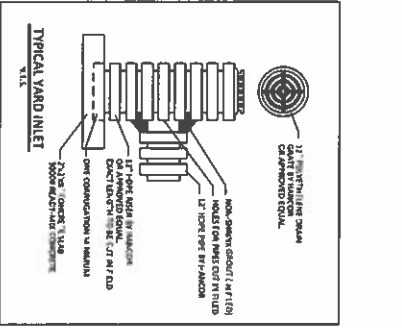
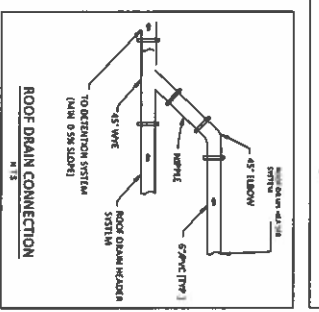
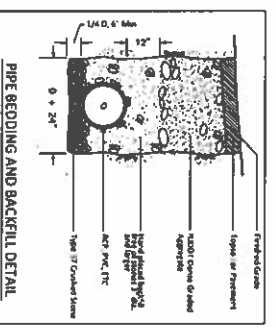
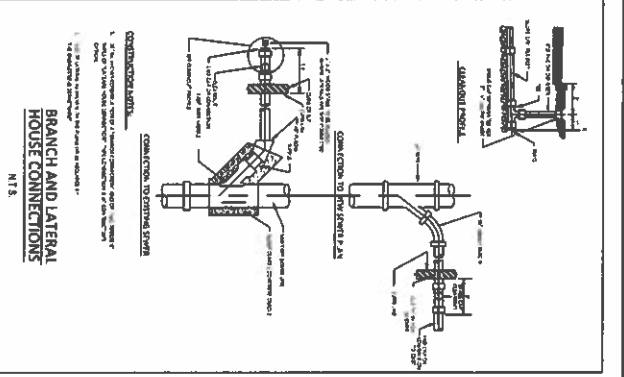
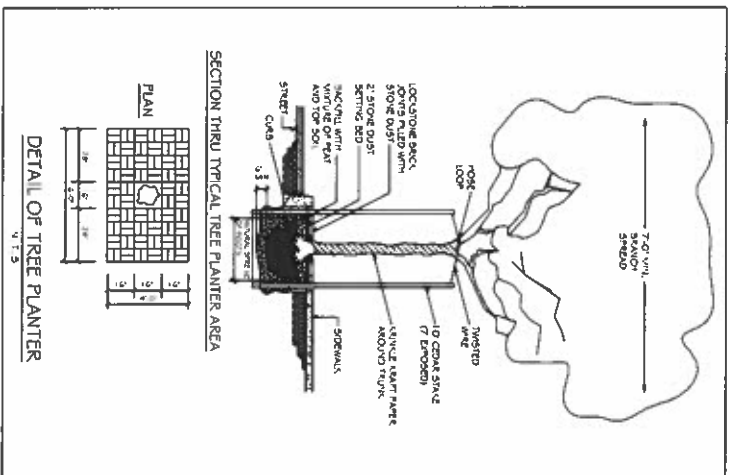
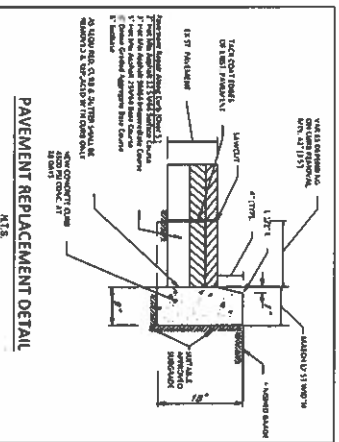
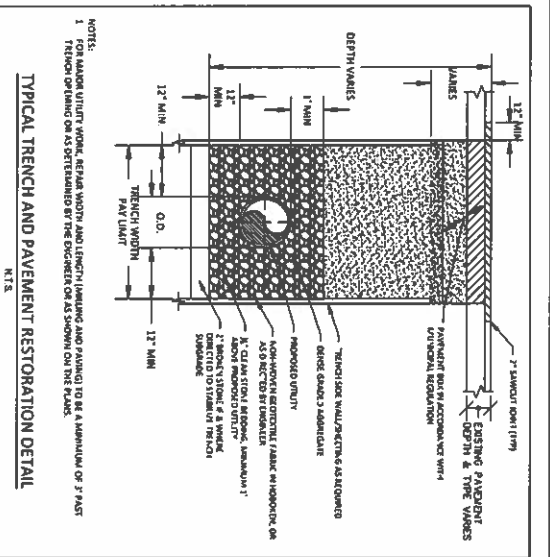
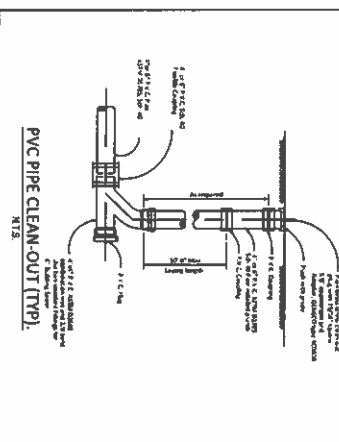
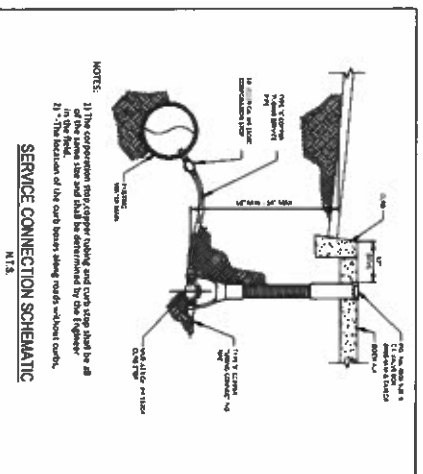
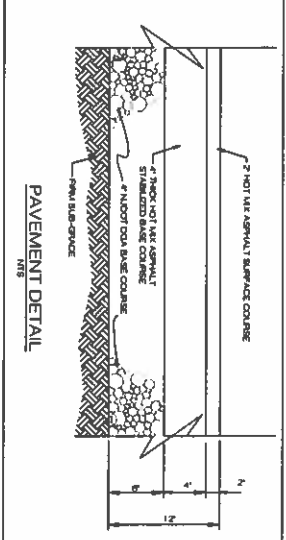
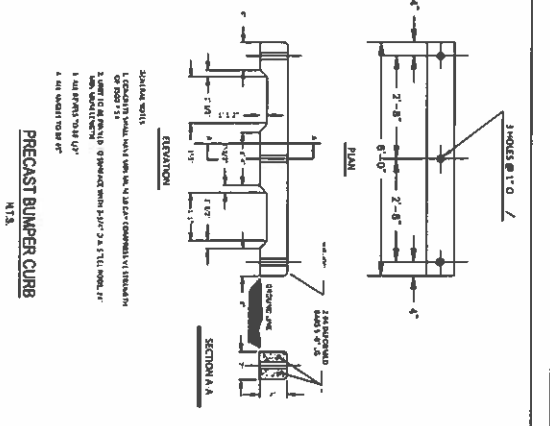
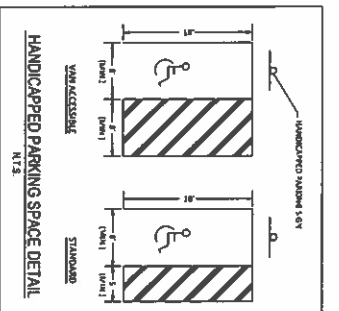
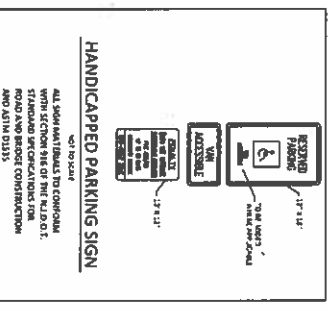
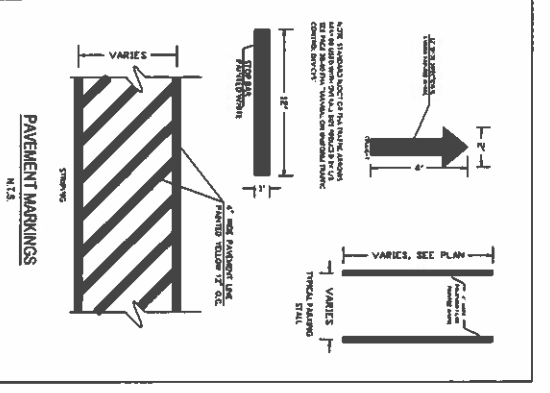
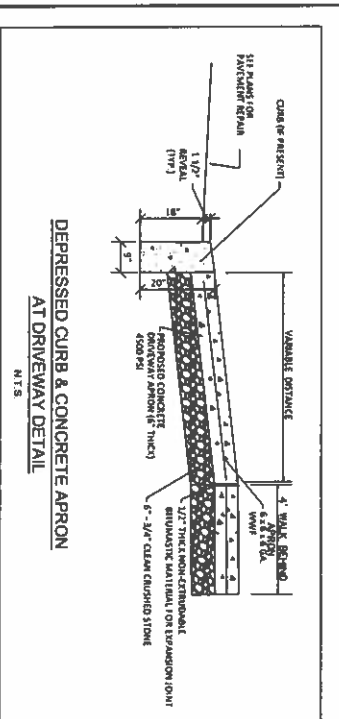
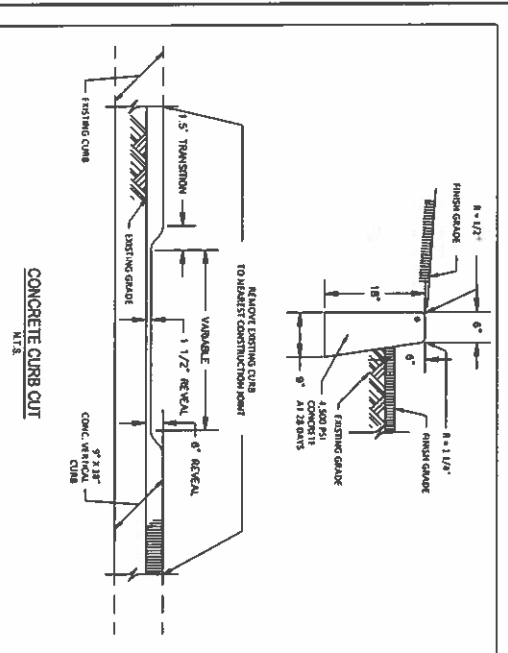
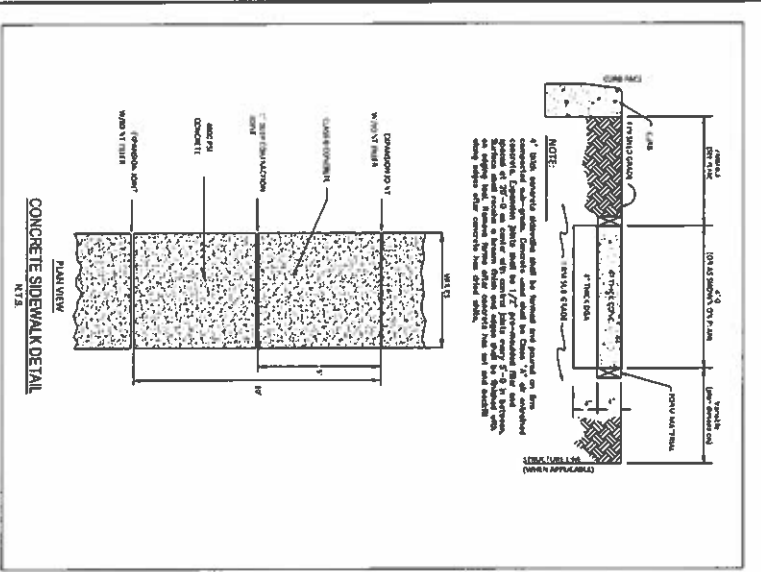
www.awzengineering.com e-mail: info@awzengineering.com
New Jersey Certificate of Authorization No. 24GA2818400
Pennsylvania Certificate of Authority No. 3111354

CONSTRUCTION DETAILS

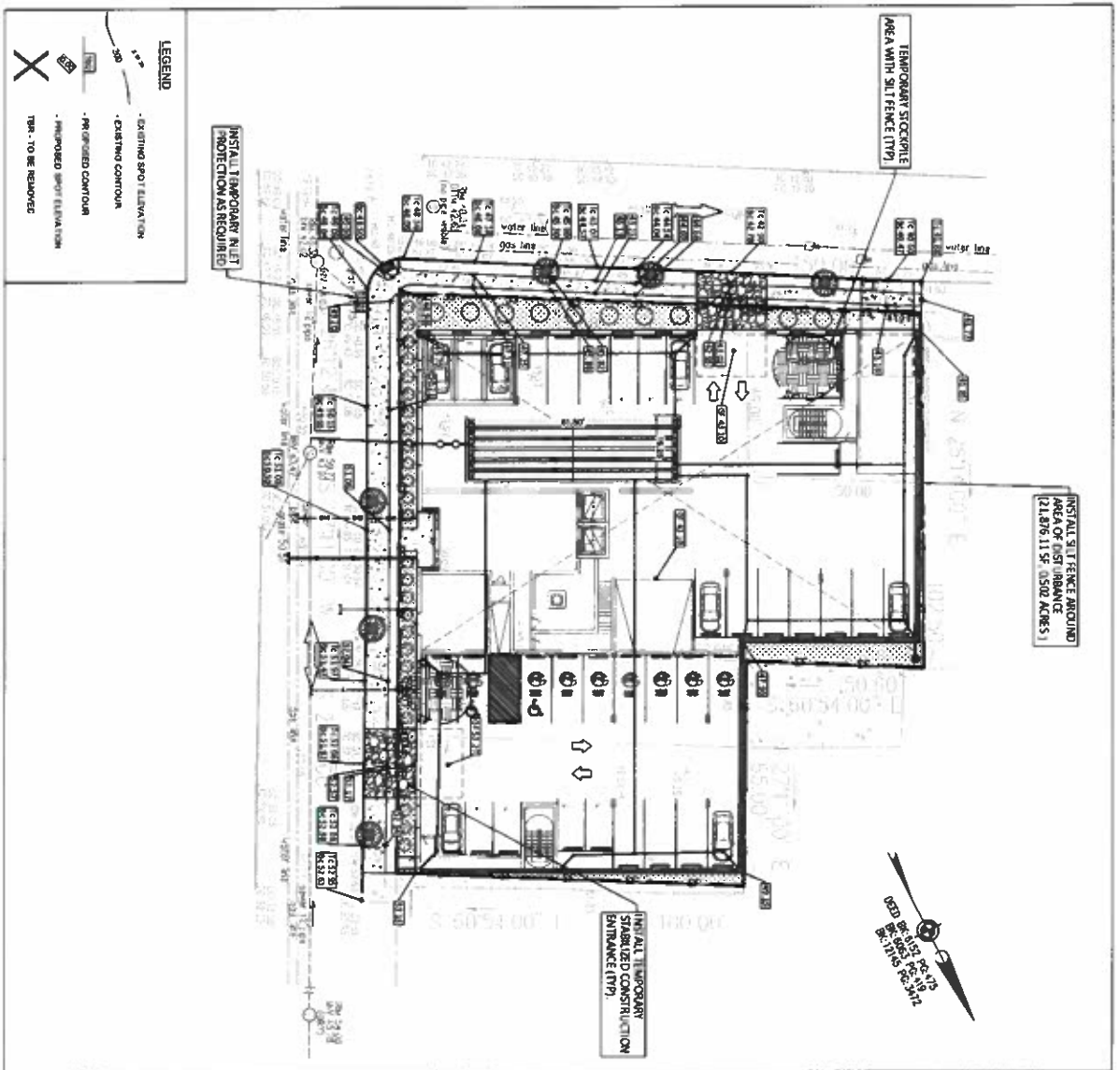
TAX LOTS 2, 3, 4 & 5 BLOCK 6105
611 - 617 SCOTLAND ROAD
517 - 519 BEACH STREET
TOWNSHIP OF ORANGE
ESSEX COUNTY, NEW JERSEY

JOB NUMBER: 22-4488
SCALE: AS SHOWN

C-07
SHEET 7 OF 8



C-08 SHEET 8 OF 1	TAX LOTS 2, 3, 4 & 5 611 - 617 SCOTLAND ROAD 517 - 519 BEACH STREET TOWNSHIP OF ORANGE ESSEX COUNTY, NEW JERSEY	AVZ ENGINEERING, INC. ENGINEERS • SCIENTISTS • CONSULTANTS Main Office: 150 River Road, Suite B3, Montville, NJ 07045 Pennsylvania Office: Scranton, PA 18504 Tel: 973-586-7000 Fax: 973-586-7070 www.avzengineering.com e-mail: info@avzengineering.com New Jersey Certificate of Authorization No. 24GA28118400 Pennsylvania Certificate of Authority No. 3171354	ADNAN A. KHAN, P.E. C.M.E. PROFESSIONAL ENGINEER  N.J. LICENSE NO. 39613 P.A. LICENSE NO. 45652 N.Y. LICENSE NO. 06643 N.E.C. LICENSE NO. 41863	DRAWN BY: LR DATE: 05/02/12 DESIGNED BY: LR DATE: 05/02/12 APPROVED BY: LR DATE: 05/02/12	NO. REVISIONS DATE BY APR
	BLOCK 6105 CONSTRUCTION DETAILS		JOB NUMBER: 22-4488 SCALE: AS SHOWN		



DUST CONTROL NOTES

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST MASSES - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY, P.G. 9.11 OR STANDARD FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY. NOTE: ALL LARGE DISTURBED AREAS SHALL BE COVERED WITH VEGETATION COVER. SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY, P.G. 9.11 OR STANDARD FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY. STABILIZATION WITH MULCHES ONLY SHALL BE USED FOR ALL AREAS TO BE STABILIZED. MULCHES SHALL BE APPLIED TO ALL AREAS TO BE STABILIZED. MULCHES SHALL BE APPLIED TO ALL AREAS TO BE STABILIZED. MULCHES SHALL BE APPLIED TO ALL AREAS TO BE STABILIZED.

TABLE 16-1. DUST CONTROL MATERIALS

MATERIAL	WATER DELIVERY	TYPE OF NOZZLE	APPLY CALIBRATION
ANTICRYSTALLINE	7"	CONICAL	130
LATE EMULSION	12.5"	FINE SPRAY	23
EARLY EMULSION	4"	FINE SPRAY	30

TABLE 16-1. DUST CONTROL MATERIALS

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TABLE 16-1. DUST CONTROL MATERIALS

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HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, THE EDITION LATEST REVISED BY DECEMBER 2017, AND THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, THE EDITION LATEST REVISED BY DECEMBER 2017, AND THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, THE EDITION LATEST REVISED BY DECEMBER 2017.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED.
3. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED.
4. SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED.
5. ALL STORM DRAINAGE MEASURES SHALL BE PROTECTED BY SITESERVE OR OTHER MEASURES TO PREVENT DAMAGE TO THE STORM DRAINAGE SYSTEM.
6. ALL STORM DRAINAGE MEASURES SHALL BE PROTECTED BY SITESERVE OR OTHER MEASURES TO PREVENT DAMAGE TO THE STORM DRAINAGE SYSTEM.
7. ALL EROSION CONTROL MEASURES SHALL BE PERIODICALLY INSPECTED AND MAINTAINED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE REPAIRED IMMEDIATELY.
8. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE ADVISED IMMEDIATELY BY PHONE OR EMAIL OF ANY DAMAGE TO THE STORM DRAINAGE SYSTEM.
9. THE CONTRACTOR SHALL OBTAIN A DISTRICT-APPROVED EROSION CONTROL PLAN FROM THE DISTRICT BEFORE BEGINNING CONSTRUCTION.
10. ALL SURFACES HAVING LANE OR LANDSCAPING AS FINAL COVER ARE TO BE STABILIZED WITH MULCHES OR OTHER MEASURES AS PER THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY.
11. ALL SURFACES HAVING LANE OR LANDSCAPING AS FINAL COVER ARE TO BE STABILIZED WITH MULCHES OR OTHER MEASURES AS PER THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY.
12. ALL SURFACES HAVING LANE OR LANDSCAPING AS FINAL COVER ARE TO BE STABILIZED WITH MULCHES OR OTHER MEASURES AS PER THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY.
13. ALL SURFACES HAVING LANE OR LANDSCAPING AS FINAL COVER ARE TO BE STABILIZED WITH MULCHES OR OTHER MEASURES AS PER THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY.
14. STORM DRAINAGE MEASURES SHALL BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED.
15. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE ADVISED IMMEDIATELY BY PHONE OR EMAIL OF ANY DAMAGE TO THE STORM DRAINAGE SYSTEM.

SOIL MANAGEMENT NOTE:

ACCORDING TO STATE OF NEW JERSEY LAND USE CLASSIFICATION SYSTEM, THE SITE IS UNDER URBAN REDEVELOPMENT AREA LAND USE CODE 1.110. THEREFORE, THE PROPOSED PROJECT DOES NOT REQUIRE COMPACTON REMEDIATION AS PER EXEMPTION #6 UNDER SOIL MANAGEMENT AND PREPARATION STANDARDS FOR SOIL AND SEDIMENT CONTROL IN NEW JERSEY.

BASED ON THE USDA WEB SOIL SURVEY, THE MAP UNIT SYMBOL FOR THE ENTIRE SITE IS 'UDSUNB' (URBAN LAND, DUNELLEN SUBSTRATUM - 0 TO 8 PERCENT SLOPES).

THIS PLAN IS TO BE USED FOR SOIL EROSION CONTROL PURPOSES ONLY

PROTECT YOURSELF

A PHONE CALL CAN BE YOUR INSURANCE POLICY

WHAT YOU DON'T KNOW CAN HURT YOU!

CALL US TODAY TO GET THE BEST ADVICE ON YOUR SOIL EROSION AND SEDIMENT CONTROL PLAN.

TAX LOTS 2, 3, 4 & 5
611 - 617 SCOTLAND ROAD
517 - 519 BEACH STREET
TOWNSHIP OF ORANGE
ESSEX COUNTY, NEW JERSEY

BLOCK 6105

SOIL EROSION & SEDIMENT CONTROL PLAN

AWZ ENGINEERING, INC.
ENGINEERS • SCIENTISTS • CONSULTANTS

Main Office: 150 River Road, Suite B3, Montville, NJ 07045
Pennsylvania Office: Scranton, PA 18504
412-385-7575
www.awzengineering.com e-mail: info@awzengineering.com
New Jersey Certificate of Authority No. 24GA26118400
Pennsylvania Certificate of Authority No. 3711354

ADNAN A. KHAN, P.E., C.M.E.
PROFESSIONAL ENGINEER

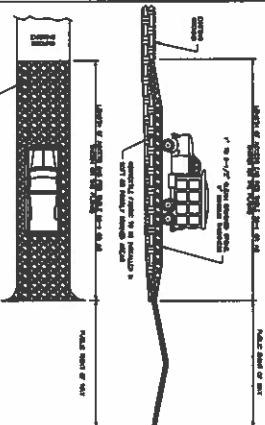
Adnan A. Khan
DATE: 11/11/22

N.J. LICENSE NO. 98612 P.A. LICENSE NO. 49822E
N.Y. LICENSE NO. 98612 P.A. LICENSE NO. 41891

NO.	REVISIONS	DATE	BY	APP.
1	REV. ENGINEERING REVIEW COMMENTS	11/11/22	FC: AKK	
2				
3				
4				
5				
6				
7				
8				
9				
10				

JOB NUMBER: 22-0488
SCALE: AS SHOWN
S-01
SHEET 1 OF 2

THIS PLAN IS TO BE USED FOR SOIL EROSION CONTROL PURPOSES ONLY



LENGTH OF STABILIZED CONSTRUCTION ACCESS (TABLE 29-1)

VEHICLE	MINIMUM MAT LENGTH (FEET)	MINIMUM MAT WIDTH (FEET)
30 TON TRUCK	14	14
20 TON TRUCK	10	10
15 TON TRUCK	8	8
10 TON TRUCK	6	6
5 TON TRUCK	4	4

NOTES:

1. All vehicles, including heavy construction equipment, shall be stabilized on mats.
2. Mats shall be placed on the ground surface and shall be replaced as needed.
3. Mats shall be placed on the ground surface and shall be replaced as needed.
4. Mats shall be placed on the ground surface and shall be replaced as needed.
5. Mats shall be placed on the ground surface and shall be replaced as needed.
6. Mats shall be placed on the ground surface and shall be replaced as needed.
7. Mats shall be placed on the ground surface and shall be replaced as needed.
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9. Mats shall be placed on the ground surface and shall be replaced as needed.
10. Mats shall be placed on the ground surface and shall be replaced as needed.

STABILIZED CONSTRUCTION ACCESS

PROPOSED STABILIZATION OF ROADWAY

1. The proposed stabilization of the roadway shall be in accordance with the following specifications:

2. The proposed stabilization of the roadway shall be in accordance with the following specifications:

3. The proposed stabilization of the roadway shall be in accordance with the following specifications:

4. The proposed stabilization of the roadway shall be in accordance with the following specifications:

5. The proposed stabilization of the roadway shall be in accordance with the following specifications:

6. The proposed stabilization of the roadway shall be in accordance with the following specifications:

7. The proposed stabilization of the roadway shall be in accordance with the following specifications:

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9. The proposed stabilization of the roadway shall be in accordance with the following specifications:

10. The proposed stabilization of the roadway shall be in accordance with the following specifications:

ROADWAY VEGETATION SCHEDULE TABLE 29-1

ROAD SECTION	VEGETATION CLASS	PLANTING RATE (%)	MANTENANCE LEVEL	REMARKS
1	A	10	1	...
2	B	20	2	...
3	C	30	3	...
4	D	40	4	...
5	E	50	5	...
6	F	60	6	...
7	G	70	7	...
8	H	80	8	...
9	I	90	9	...
10	J	100	10	...

PROPOSED VEGETATION SCHEDULE

1. The proposed vegetation schedule shall be in accordance with the following specifications:

2. The proposed vegetation schedule shall be in accordance with the following specifications:

3. The proposed vegetation schedule shall be in accordance with the following specifications:

4. The proposed vegetation schedule shall be in accordance with the following specifications:

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5	E	50	5	...
6	F	60	6	...
7	G	70	7	...
8	H	80	8	...
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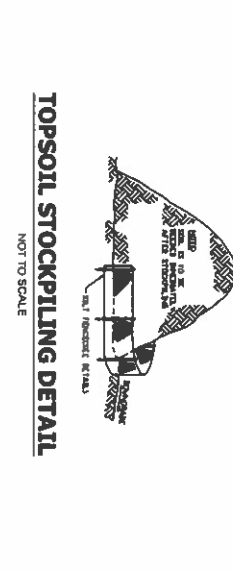
ROADWAY VEGETATION SCHEDULE TABLE 29-1

ROAD SECTION	VEGETATION CLASS	PLANTING RATE (%)	MANTENANCE LEVEL	REMARKS
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5	E	50	5	...
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7	G	70	7	...
8	H	80	8	...
9	I	90	9	...
10	J	100	10	...



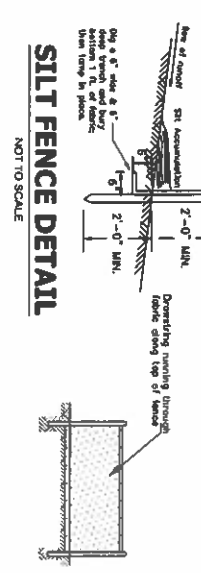
NOTES:

1. All trees shall be protected during construction.
2. Mats shall be placed on the ground surface and shall be replaced as needed.
3. Mats shall be placed on the ground surface and shall be replaced as needed.
4. Mats shall be placed on the ground surface and shall be replaced as needed.
5. Mats shall be placed on the ground surface and shall be replaced as needed.
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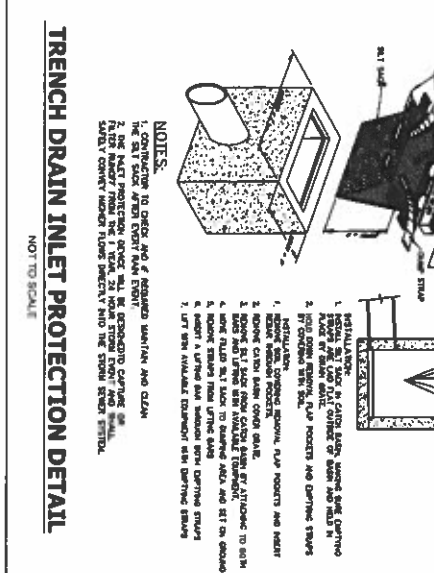
NOTES:

1. All topsoil shall be stockpiled in accordance with the following specifications.
2. The proposed stabilization of the roadway shall be in accordance with the following specifications.
3. The proposed stabilization of the roadway shall be in accordance with the following specifications.
4. The proposed stabilization of the roadway shall be in accordance with the following specifications.
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10. The proposed stabilization of the roadway shall be in accordance with the following specifications.



NOTES:

1. All silos shall be fenced in accordance with the following specifications.
2. The proposed stabilization of the roadway shall be in accordance with the following specifications.
3. The proposed stabilization of the roadway shall be in accordance with the following specifications.
4. The proposed stabilization of the roadway shall be in accordance with the following specifications.
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10. The proposed stabilization of the roadway shall be in accordance with the following specifications.



NOTES:

1. All trench drains shall be protected in accordance with the following specifications.
2. The proposed stabilization of the roadway shall be in accordance with the following specifications.
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AZ ENGINEERING, INC.
 ENGINEERS • SCIENTISTS • CONSULTANTS
 Main Office: 150 River Road, Suite B3, Montville, NJ 07045
 Pennsylvania Office: Scranton, PA 18504
 Tel: 973-588-7000 Fax: 973-588-7079
 www.azengineering.com e-mail: info@azengineering.com
 New Jersey Certificate of Authorization No. 24GA28118400
 Pennsylvania Certificate of Authority No. 3373154

ADNAN A. KHAN, P.E., C.M.E.
 PROFESSIONAL ENGINEER
 11/10/21
 DATE

ADNAN A. KHAN

N.J. LICENSE NO. 38012 P.A. LICENSE NO. 48848K
 N.Y. LICENSE NO. 088435 M.D. LICENSE NO. 41803

SCALE: AS SHOWN

S-02
 SHEET 1 OF 1

TAX LOTS 2, 3, 4 & 5
 BLOCK 6105
 611 - 617 SCOTLAND ROAD
 517 - 519 BEACH STREET
 TOWNSHIP OF ORANGE
 ESSEX COUNTY, NEW JERSEY

SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS

JOB NUMBER:
 22-0488