



CITY OF ORANGE HISTORIC PRESERVATION COMMISSION

ORANGE CITY HALL

29 North Day Street, Orange, New Jersey 07050

PHONE (973) 952- 6344 FAX (973) 672-6643

**CITY OF ORANGE PRESERVATION COMMISSION
APPLICATION FOR CERTIFICATION OF APPROPRIATENESS**

DATE RECEIVED _____ APPLICATION # _____

APPLICANT(S):

Name of Applicant(s): EMG GENERAL CONSTRUCTION /JULEUS CONSTRUCTION GROUP

Address: 430 CENTRE ST, TRENTON, NJ 08611 Email: ANTHONY11184@GMAIL.COM

Telephone (Day) 732-279-8849 (Eve) _____ (Fax) _____

Relationship of Applicant to Property owner:

Owner(s) Lessee Property Under Contract Other (Specify)

Explanation if Other: CONTRACTOR

OWNER(S), IF DIFFERENT THAN APPLICANT:

Name(s) of Owner(s): KURT & NOVA MILLS

Address: 342 CLEVELAND ST, ORANGE, NJ Email: KURTMILLS@GMAIL.COM

Telephone Number: (Day) 973-220-5322 (Eve) SAME

Street Address of the Property that is subject of Application: 234 TREMONT AVENUE
ORANGE, NJ

Tax Block: 6601 Lot: 5

Name of Historic District in which Property lies: _____

Orange Valley Montrose Seven Oaks Park Main Street St. John's

Existing use of the Property:
RESIDENTIAL

Existing zoning of the Property:
RESIDENTIAL

Describe in detail the proposed work to be done at the Property.
Remove pre-existing shingles and cedar shake from main roof area. Install new plywood to existing slats and rafters. Install new lifetime architectural shingle roof system.

Explain how you plan to prevent, minimize and mitigate any adverse effects to this Property, to nearby historically significant properties, and to the Historic District?

Will not replace paint molding or trim with new products. Will replace rotted wood/trim molding, if needed, to replicate current conditions.

Each Application must be accompanied by sketches, drawings, photographs, descriptions or other information sufficient to show the proposed alterations, additions, changes or new construction. The Commission may require the subsequent submission of such additional materials as it reasonably requires to make an informed decision. A submission shall include:

- A photograph of each elevation of the structure.
- Three (3) copies of drawings, photographs, material brochures, samples, specifications or information that may be necessary to assist the Commission. Copies may be submitted electronically, or by CD or flash drive.
- Three (3) copies of a survey, or if applicable, a site plan showing the location of new and existing structures on the site and their location with respect to the building line, property line, and the front of those buildings or structures immediately adjacent to each side of the lot to be built upon.
- Three (3) copies of façade elevation(s), if applicable, of the proposed work in sufficient detail to identify the limits and location of the proposed work, and existing and proposed materials to be used.
- \$70.00 Application fee (check or money order made to the City of Orange).

By signing this Application, I hereby certify that the owner of record authorizes the proposed work and I have been authorized by the owner to make this Application as his/her authorized agent. By signing this Application, the owner hereby grants authorization to the Commission members, and its professional and support staff to enter the Property in question for inspection purposes. By signing this application I further agree that the attorney's and professional staff's review of my application is chargeable to me and that I agree to pay for such review separately from the application fee, by depositing an escrow payment of \$_____.

Signature of Applicant(s) 

(Print Name) Anthony Juleus

Date 03/06/2024

Signature of Owner(s) (if different than Applicant) _____

(Print Name) _____

Date _____

Submittal of this Application form-properly signed, with the indicated copies of documents and the Application fee will constitute a complete Application. Upon receipt of a complete Application, the Board Secretary will schedule the Application with the Commission. The Applicant delays his/her own Application if all of these required items are not submitted. The Commission shall reach a decision on the Application within forty-five (45) days of submission of a complete Application. The Applicant must appear in front of the Commission in order to present the Application during the public hearing on the scheduled date.

Telephone: _____ Fax: _____ Website: _____

Date payment received: _____ Check Number: _____

Date sent to Finance: _____ Receipt Number: _____

Certification of Appropriateness Application Form Adopted 10/21/15, revised 10/6/22.



City of Orange Township

DEPARTMENT OF PLANNING AND DEVELOPMENT

DWAYNE D. WARREN, Esq.
Mayor

29 NORTH DAY STREET
ORANGE, NJ 07050
(973) 952-6066
Fax (973) 677-7847

CODE ENFORCEMENT

December 8, 2023

Seller:

Fannie Mae Granite Park, VII
5600 Granite Parkway
Plato, TX 75024

Buyer:

Kurt & Nova Mills
324 Cleveland Avenue
Orange, NJ 07050

Certificate of Habitability Inspection Report

To whom it may concern,

Listed below are all violations found on Tuesday, August 15, 2023 during the Certificate of Habitability Inspection conducted for the sale of the One Family property located at **Block 6101, Lot 5** otherwise known as **234 Tremont Avenue, Orange, New Jersey 07050**. These violations must be completely abated and a re-inspection of the unit must be conducted by Code Enforcement on or before the re-inspection date given below.

Exterior

- Remove/repair doorbell
- Provide key chain locks for front, side, & rear door
- Repair/replace retaining wall by driveway (front area)

1st Floor

- Provide electricity, water, gas on property
- Repair, scrape, & paint all ceilings & sideways (all rooms)
- Clean, sanitize, & replace carpets
- Repair/replace wall light fixtures
- Re-glaze bathroom sink
- Repair/replace bathroom sink stopper
- Replace kitchen floor tiles
- Provide/install GFI outlet in kitchen by hand sink & by laundry area & by bathroom hand sink
- Provide proper window screens where needed

Basement

- Repair cause of water leak in basement by windows
- Remove all foreign matter
- Repair, scrape, & paint all ceilings/sidewalls/common areas
- Remove/sanitize standing water & moisture

2nd Floor

- Remove all key door locks to bedrooms
- Provide & repair proper window screens where needed
- Clean, sanitize & replace carpets
- Repair/ replace wall light fixtures
- Repair/replace bathroom handsink stopper
- Repair, scrape, & paint all ceilings/sidewalls (all rooms)
- Recaulk bathtub surroundings

3rd Floor

- Reglaze rusted sink basin/reglaze/recalk bathtub surroundings
- Repair/replace handsink stopper
- Replace toilet seat
- Repair/replace all handrails to stairs (interior)

Common Area

- No running water, No electricity, No gas, No utilities
- Unable to test stove/rangehood/running water

Date of Inspection: 08/15/2023

Schedule Re-inspection By: 06/10/2024

Please Note: Inspection must be scheduled and confirmed with the Code Enforcement Division, please call 973-747-2928-. Failure to abate violations and schedule re-inspection may result in court penalties. All required permits, if any, must be obtained prior to beginning any work. If you are unsure of required permits, please contact the City's Building Department at 973-266-4105.

Sincerely,

Ruth Pomales

Ruth Pomales
Code Enforcement Officer
City of Orange Township
29 North Day Street
Orange, NJ 07050
(973) 747-2928



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Plato, TX 75024

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Temporary Certificate of Habitability

To Whom It May Concern,

This letter is to certify that the property located at **234 Tremont Avenue** is an **AS-IS Sales Inspection** and has been awarded a **Temporary Certificate of Habitability** by the City of Orange Township on Friday, December 8, 2023.

This certificate will be valid for a period not in excess of **six (6) months from today's date**, which is Monday, June 10, 2024. By that time, all necessary permits must be obtained from the Building Department and closed out. Also, a physical inspection must be conducted to ascertain whether or not violations of the Property Maintenance Code exist within the property.

Please Note: Failure to conduct or schedule inspection within stipulated six (6) month period shall result in mandatory penalty of \$1,000.

Date of Temporary Certificate: 12/08/2023
Schedule Re-Inspection By: 06/10/2024

Issued By: Ruth Pomales

Ruth Pomales

Department of Planning and Development
Division of Inspections/Licensing
Code Enforcement Unit / (973) 747-2928

SUMMARY

234 Tremont Avenue, City of Orange, NJ December 5, 2023

Report No. 3835

www.makeasmartchoice.us

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Asphalt shingles

Condition: • [Old, worn out](#)

Implication(s): Chance of water damage to structure, finishes and contents

Condition: • [Damage](#)

Implication(s): Chance of water damage to structure, finishes and contents



1. Damage



2. Damage



3. Damage



4. Damage

Condition: • [Damage](#)

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Implication(s): Chance of water damage to structure, finishes and contents



5. Damage



6. Damage



7. Damage



8. Damage

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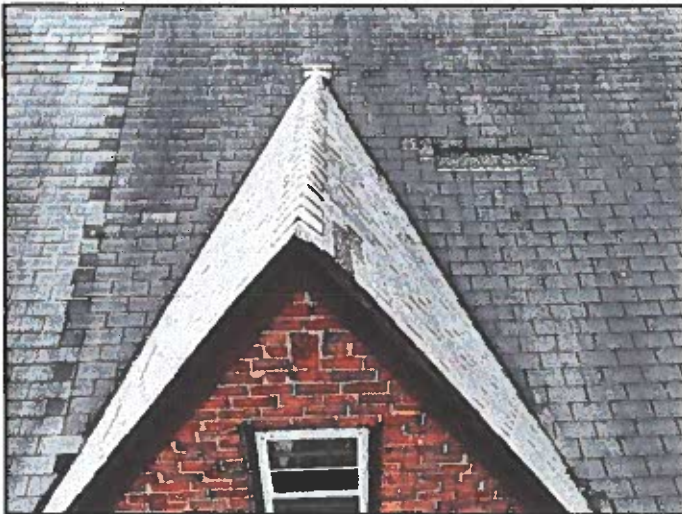
REFERENCE



9. Damage



10. Damage



11. Damage



12. Damage



13. Damage



14. Damage

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- SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
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Condition: • Multiple layers

Two is the maximum of layers of asphalt shingle roofing allowed. If the roof were to leak at anytime, both would have to be removed before installing a new layer. Adding an extra layer of asphalt shingles decreases the life expectancy of the most recent asphalt roofing material, voids any warranty.

There were three-four layers of shingles observed on the roof. This is AGAINST building code. The last set of shingles are cedar shake shingles. Total roof covering material replacement and sheathing replacement needed.

According to 2015 IRC R908.3

Implication(s): Shortened life expectancy of material

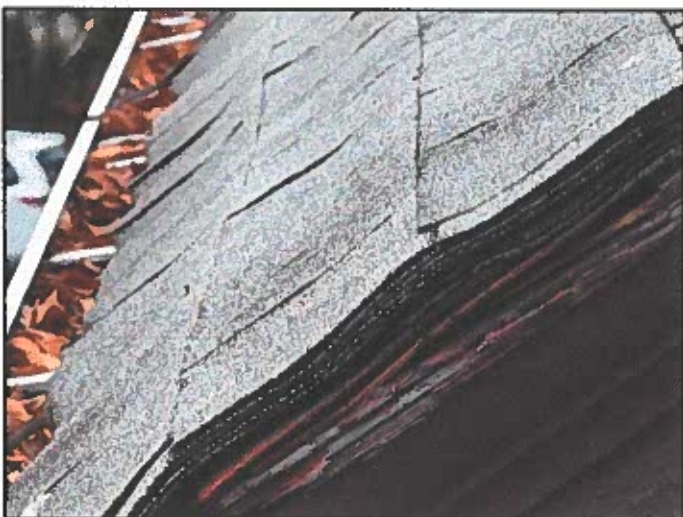
Location: Multiple roofs



15. Multiple layers



16. Multiple layers



17. Multiple layers



18. Multiple layers

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19. Multiple layers



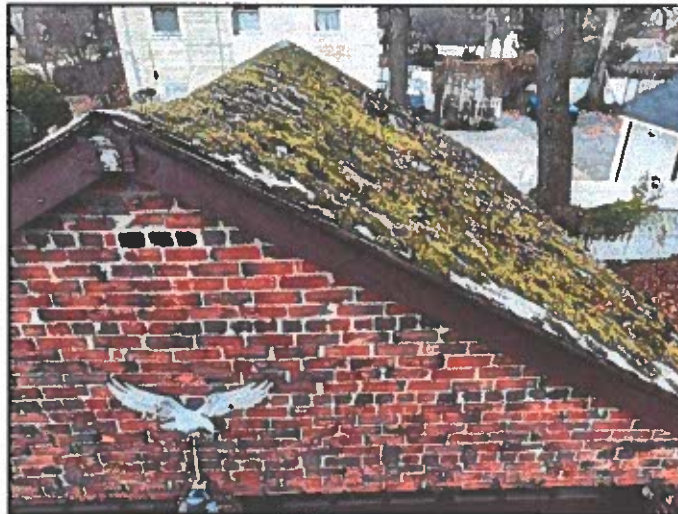
20. Multiple layers

Condition: • Debris/moss

Implication(s): Shortened life expectancy of material

Location: Garage

Task: Recommend treating with "Wet & Forget" moss/algae removal solution



21. Debris/moss

Condition: • Asphalt shingles installed over cedar shingles

Asphalt shingle roofing was installed over cedar shingles which goes against building code (R907.3) Instead of plywood/OSB roof sheathing, furring strips are installed to let the wood shingles dry easily. Furring strips CANNOT be used as roof decking/sheathing. Recommend having a licensed contractor remove both roof layers of asphalt shingles and cedar shingles, replace the furring strips for solid plywood or OSB, and install new asphalt shingles along with felt paper, drip edge flashing and ice & water shield where necessary.

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R907.3 Re-Covering versus Replacement. New roof coverings shall not be installed without first removing all existing layers of roof coverings where any of the following conditions exist:

1. Where the existing roof or roof covering is water-soaked or has deteriorated to the point that the existing roof or roof covering is not adequate as a base for additional roofing.
2. Where the existing roof covering is wood shake, slate, clay, cement or asbestos-cement tile.
3. Where the existing roof has two or more applications of any type of roof covering.

Task: Replace



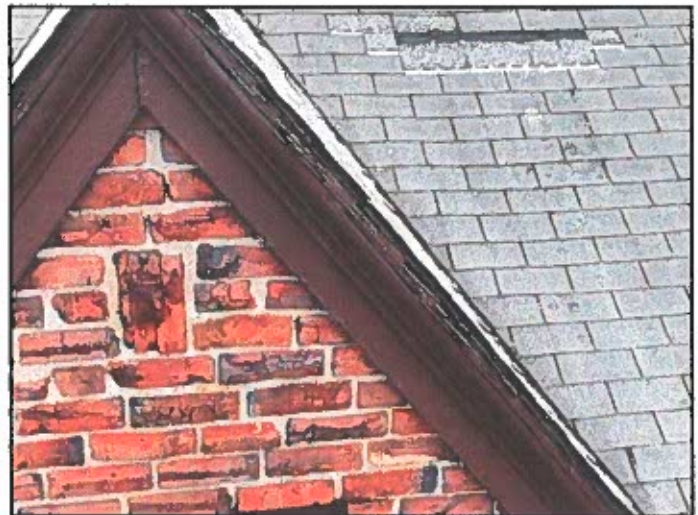
22. Asphalt shingles installed over cedar...



23. Asphalt shingles installed over cedar...



24. Asphalt shingles installed over cedar...



25. Asphalt shingles installed over cedar...

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26. Asphalt shingles installed over cedar...

Condition: • Evidence of poor installation



27. Evidence of poor installation



28. Evidence of poor installation

Exterior

WALLS \ Trim

Condition: • Rot

Openings around woodwork are allowing water to seep behind it, causing rot to both the woodwork and wall framing, as well as deteriorating the mortar between brick joints. The mortar deterioration has also caused the brick veneer to crack and pull away from the building.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

GAF Timberline **HDZ**[®]
High Definition Lifetime Shingles



America's #1-selling shingle just got better — again

Now with GAF Time-Release Algae-Fighting Technology and LayerLock™ Technology, Timberline HDZ[®] offers everything you can expect from an architectural shingle roof, and more.



Timberline HDZ® Shingles

Benefits:

- **LayerLock™ Technology** — mechanically fuses the common bond between overlapping shingle layers
- **Up to 99.9% nailing accuracy** — the StrikeZone™ nailing area is so easy to hit that a roofer placed 999 out of 1,000 nails correctly in our test¹
- **WindProven™ Limited Wind Warranty** — when installed with the required combination of GAF Accessories, Timberline HDZ® Shingles are eligible for a wind warranty with no maximum wind speed limitation³
- **Dura Grip™ sealant** pairs with the microgranule surface of the StrikeZone™ nailing area. Then, an asphalt to-asphalt monolithic bond cures for durability, strength, and exceptional wind uplift performance.
- **25-year StainGuard Plus™ Algae Protection Limited Warranty** against blue-green algae discoloration.² Proprietary GAF Time-Release Algae-Fighting Technology helps protect your shingles from unsightly stains.
- **For the best look** — use TimberTex® Premium Ridge Cap Shingles or TimberCrest® Premium SBS-Modified Ridge Cap Shingles

Colors:



Harvest Blend Colors⁵



Product details:

Product/System Specifics

- Fiberglass asphalt construction
- **Dimensions (approx.):** 13 1/4" x 39 3/8" (337 x 1,000 mm)
- **Exposure:** 5 3/8" (143 mm)
- **Bundles/Square:** 3
- **Pieces/Square:** 64
- **StainGuard Plus™ Algae Protection² Limited Warranty**
- **Hip/Ridge:** TimberTex®; TimberCrest®; Seal-A-Ridge®; Z® Ridge; Ridglass®⁵
- **Starter:** Pro-Start®; QuickStart®; WeatherBlocker™

Applicable Standards & Protocols:

- UL Listed to ANSI/UL 790 Class A
- State of Florida approved
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- Meets ASTM D3462⁴
- Miami-Dade County Product Control approved
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Meets Texas Department of Insurance Requirements
- Rated by the CRRC: Can be used to comply with Title 24 Cool Roof requirements (some colors)

^{*} Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence (or eligible second owner(s)) owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime Shingles only. See the *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime Shingle and at least 3 qualifying GAF Accessories. See the *GAF Roofing System Limited Warranty* for complete coverage and restrictions. For installations not eligible for the *GAF Roofing System Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*. Visit gaf.com/LRS for qualifying GAF products.

¹ Results based on study conducted by Home Innovation Research Labs, an independent research lab, comparing installation of Timberline HDZ® Shingles to Timberline HDZ™ Shingles on a 16-square roof deck using standard 4-nail nailing pattern under controlled laboratory conditions. Actual results may vary.

² 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions and qualifying products.

³ 15-year WindProven™ limited wind warranty on GAF Shingles with LayerLock™ Technology requires the use of GAF Starter Strips, Roof Deck Protection, Ridge Cap Shingles, and Leak Barrier or Attic Ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the *GAF Roofing System Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*.

⁴ Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

⁵ Harvest Blend colors are only available on TimberTex® Ridge Cap Shingles, Seal-A-Ridge® Ridge Cap Shingles, and TimberCrest® Premium SBS-Modified Ridge Cap Shingles.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

We protect what matters most™

